

APPROVED

AUG 14 2013

**BOARD OF RECREATION
& PARK COMMISSIONERS**

REPORT OF GENERAL MANAGER

NO. 13-190

DATE July 10, 2013

C.D. 11

BOARD OF RECREATION AND PARK COMMISSIONERS

SUBJECT: POTRERO CANYON PARK DEVELOPMENT 15329 AND 15333 DE PAUW STREET SLOPE REMEDIATION (W.O. E1907428) PROJECT; UTILIZATION OF THE BUREAU OF ENGINEERING'S GEOTECHNICAL CONSTRUCTION ON-CALL LIST OF PRE-APPROVED CONTRACTORS

R. Adams	_____	K. Regan	_____
H. Fujita	_____	*M. Shull	<u><i>MS</i></u>
V. Israel	_____	N. Williams	_____

[Signature]
General Manager

Approved *[Signature]*

Disapproved _____

Withdrawn _____

RECOMMENDATIONS:

That the Board:

1. Approve the Potrero Canyon Park 15329 & 15333 De Pauw Street Slope Remediation (W.O. #E1907428) project; and,
2. Request the Board of Public Works to allow the use of the Bureau of Engineering's Geotechnical Construction On-Call List of pre-approved contractors for construction of this project.

SUMMARY:

History:

Potrero Canyon was originally purchased by the City of Los Angeles in the 1960's. Throughout its history, Potrero Canyon has experienced numerous landslides, due to the instability of its canyon walls, resulting in damage to many homes and properties. From 1964 to 1975, the Department of Recreation and Parks (Department) purchased various properties along the canyon with the goal of stabilizing the canyon and extending the Palisades Recreation Center. Due to a litigation settlement, the Department was later obligated to purchase an additional twenty-two (22) properties along the canyon rim.

REPORT OF GENERAL MANAGER

PG. 2

NO. 13-190

In 1986, the Department authorized a comprehensive study by Kovacs Byer, Inc., (later known as the J. Byer Group) to evaluate proposed plans to fill the canyon in order to stabilize it and to create a park. The fill grading project began in 1988 and consisted of multiple phases. The first phase, completed in 1990, consisted of cleaning out the canyon and installation of a storm drain. The second phase consisted of large scale import and compaction of fill in the canyon. It also included removal of landslide debris and benching of stability fill-slopes into the canyon walls. Numerous sub-drains were installed. In 2004, grading stopped due to a lack of funding, leaving the canyon grading approximately 65% complete.

In August 2004, Council Motion 04-1587-from Council District 11 instructed the Department and the Department of Public Works, Bureau of Engineering (BOE) to complete the stabilization of the canyon. As part of this process, BOE evaluated the existing canyon conditions, prepared a scope of work and project schedule, and prepared preliminary grading plans for the canyon. BOE was also instructed to review the geotechnical conditions of the twenty-two (22) City-owned lots surrounding the canyon and to prepare real estate disclosure reports for the lots to be sold, fifteen (15) of which have been completed to date. Geotechnical reports have been completed for the majority of the canyon.

Project Components:

The project has been divided into four units:

- Unit 1: Elkis-Pardee reflects the names of the owners of the two properties which experienced slope failures during the 2005 winter storms.
- Unit 2: Main Canyon Grading and Park Development, includes most of the northerly portion of the canyon.
- Unit 3: Friends Street slope, consists of the area along the west wall of the canyon opposite Unit 1.
- Unit 4: PCH slope, includes the slope extending from Pacific Coast Highway (PCH) to Friends Street. This slope is out of the main canyon and was graded during construction. Any additional grading of this slope will be ancillary to the grading of the park.

Use of On-Call Contractor List:

The slope remediation will support the slope below two City-owned properties that are impacted by landslides. This remedial grading will be done before the grading of the rest of the park to allow for sale of the City-owned properties. The grading will encroach onto the neighboring property at 15325 De Pauw Street. A Right of Entry has been provided by the property owner. In order to expedite initiation of the construction work for the slope remediation, BOE recommends utilizing BOE's

REPORT OF GENERAL MANAGER

PG. 3

NO. 13-190

geotechnical construction on-call list of pre-approved contractors. This will reduce the project schedule by several months. Using this list requires authorization by the Board of Public Works.

Project Funding:

Currently, the only identified project funding source is from the sale of the 22 City-owned properties located at the top of the canyon. Sale of these lots requires California Coastal Commission approval. Funds from the sale of these properties will be deposited into the Potrero Canyon Trust Fund (PCTF), established by City Council in Ordinance No. 179472, effective February 4, 2008. The PCTF is administered by BOE, and all appropriations from the fund must be approved by City Council. To date, 15 properties have been sold, yielding a total of approximately \$12,415,000.00. Funding must be appropriated from the PCTF prior to issuance of any Notice to Proceed.

The potential environmental impacts of the overall canyon filling and stabilization phases, of which the proposed slope stabilization below 15329 and 15333 DePauw St. is a part, were analyzed in an environmental impact report (EIR) for the Potrero Canyon Park Development Project that was completed in 1985 in compliance with the California Environmental Quality Act (CEQA).

FISCAL IMPACT STATEMENT:

At this time, there is no fiscal impact to the Department of Recreation and Parks for this board report. Once this project is completed, operational maintenance cost will be determined. Upon project completion, a request for funding will be submitted in future Department annual budget requests.

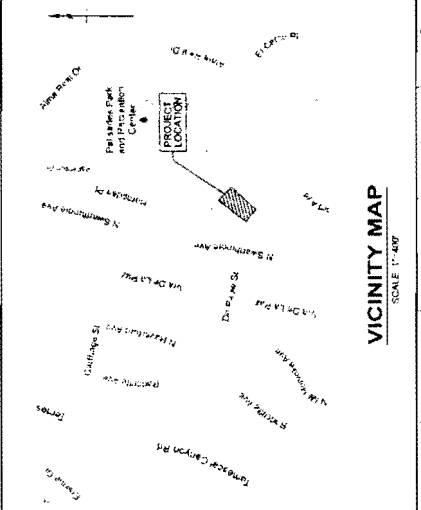
This report was prepared by Robert C. Hancock, Engineering Geologist II, Department of Public Works, Bureau of Engineering (BOE), Geotechnical Engineering Group and Robert Oyakawa, Landscape Architect I, Department of Recreation and Parks, Planning, Construction and Maintenance Branch. Reviewed by: Neil Drucker, Program Manager, Department of Public Works, BOE Recreational and Cultural Facilities Program;; Deborah Weintraub, Chief Deputy City Engineer, Department of Public Works, BOE; and by Cathie Santo Domingo, Superintendent Department of Recreation and Parks, Planning, Construction and Maintenance Branch.

**BUREAU OF ENGINEERING
DEPARTMENT OF PUBLIC WORKS
CITY OF LOS ANGELES**

**15329 & 15333 DE PAUW ST. SLOPE REMEDIATION
AT POTRERO CANYON PARK**

GENERAL NOTES

1. STANDARD SPECIFICATIONS: ALL WORK SHALL CONFORM TO THE LATEST EDITION AND SUPPLEMENTS OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (SSPWC) ADOPTED BY THE BOARD OF PUBLIC WORKS OF THE CITY OF LOS ANGELES AS MODIFIED BY THE CORRESPONDING SUPPLEMENT (I.A.B.C.)
2. THE ENGINEER DOES NOT WARRANT THE ACCURACY OF THE SCALED DIMENSIONS. ALL DIMENSIONS SHALL BE AS DESIGNATED ON THE PLANS.
3. THE CONTRACTOR SHALL BRING TO THE ENGINEER'S ATTENTION ANY OBSTRUCTIONS OR CONFLICTS BETWEEN VARIOUS ELEMENTS OF THE DRAWINGS, NOTES AND DETAILS PRIOR TO PROCEEDING WITH THE WORK.
4. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD BEFORE STARTING WORK AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
5. THE CONTRACTOR SHALL PROTECT ALL PUBLIC AND PRIVATE PROPERTY NEARBY AS IT MAY BE NECESSARY PRECAUTION TO AVOID DAMAGE TO EXISTING STRUCTURES AND ENSURE THE SAFETY OF THE PUBLIC. APPROPRIATE SIGNS AND ADEQUATE WARNING DEVICES TO ADVISE THE PUBLIC OF CONSTRUCTION HAZARDS AND UPON COMPLETION OF THE WORK SHALL PROMPTLY REMOVE THEM. ANY DAMAGE TO THE SATISFACTION OF THE ENGINEER AT NO COST TO THE CITY.
6. THE CONTRACTOR SHALL EXERCISE CARE THAT NO EXCAVATED MATERIAL OR DEBRIS REGAINS FROM HIS OPERATION SHALL RUN DOWN THE EXISTING SLOPE AND STREET OR OTHER PROPERTIES' EXISTING TREES AND SHRUBBERY, WHEN NOT IN DIRECT CONTACT WITH CONSTRUCTION ACTIVITIES, SHALL BE PROTECTED.
7. EXISTING ABANDONED IMPROVEMENTS AS INDICATED BY THE ENGINEER THAT INTERFERE WITH THE PROPOSED CONSTRUCTION SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR UNLESS APPROPRIATE SIGNS AND ADEQUATE WARNING DEVICES TO ADVISE THE PUBLIC OF CONSTRUCTION HAZARDS AND UPON COMPLETION OF THE WORK SHALL PROMPTLY REMOVE THEM. CONCRETE, CURB AND ASPHALT REMOVED BY THE CONTRACTOR SHALL BE DISPOSED BY THE CONTRACTOR.
8. EXISTING UTILITIES SHALL BE REMOVED SURFACE MARKS ARE DAMAGED BY THE CONTRACTOR'S OPERATIONS OR BELONG TO FACILITY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE. TO THE SATISFACTION OF THE ENGINEER.
9. UNDERGROUND SERVICE ALERT (U.S.A.), WITHIN TEN DAYS BEFORE STARTING DRILLING OPERATIONS OR EXCAVATION WORK, THE CONTRACTOR SHALL CALL 1-800-424-2131 AND OBTAIN A U.S.A. HOURS REPORT FOR TWO WORKING DAYS TO ALLOW FOR NOTIFICATION OF UTILITY OWNERS. THE NUMBER SHALL ALSO BE REPORTED TO THE INSPECTOR WHEN REQUESTING INSPECTION. THE CONTRACTOR SHALL DETERMINE THE OWNERS AND PROTECT THEM DURING CONSTRUCTION. THE CONTRACTOR SHALL TAKE SPECIAL PRECAUTIONS TO PROTECT AND MAINTAIN CONTINUOUS SERVICE OF UNDERGROUND UTILITY LINES.
10. THE GEOTECHNICAL ENGINEERING GROUP (G.E.G.) PROJECT GEOTECHNICAL ENGINEER SHALL OBSERVE THE SLOPE FOLLOWING THE CLEARING AND GRABBING, BE PRESENT DURING UTILITY RELOCATION, BE PRESENT DURING THE SLOPE STABILIZATION AND BE PRESENT DURING THE CONSTRUCTION OF THE EXCAVATION. THE GEOTECHNICAL ENGINEER SHALL BE NOTIFIED AT (213) 847-0469 OR (213) 847-0469 (IS WORKING DAYS) PRIOR TO ANY REQUEST FOR INSPECTION.



CIVIL DESIGN: MARRS SERVICES, INC.

PROJECT TEAM

GEOTECHNICAL:
 WYATT RICHARDSON, P.E.
 PROJECT ENGINEER
 340 E. COMMUNWELL AVENUE
 FULLERTON, CA 92832
 714-213-8650

ENVIRONMENTAL:
 ENVIRONMENTAL GROUP
 JIM DOTY
 ACTING GROUP MANAGER
 NORMAN MUNDY
 ENVIRONMENTAL SPECIALIST II

SURVEY:
 SURVEY DIVISION
 TONY PRATT, P.L.S.
 CHIEF SURVEYOR

PROJECT TEAM

GEOTECHNICAL:
 MARRS SERVICES, INC.
 PROJECT ENGINEER
 15329 & 15333 DE PAUW ST.
 POTRERO CANYON PARK
 FULLERTON, CA 92832
 714-213-8650

ENVIRONMENTAL:
 ENVIRONMENTAL GROUP
 JIM DOTY
 ACTING GROUP MANAGER
 NORMAN MUNDY
 ENVIRONMENTAL SPECIALIST II

QUANTITIES:

ITEM	DESCRIPTION	UNIT	QUANTITY
1	TERRACE DRAIN - CONCRETE 3" WIDE V-DRAIN	LF	110
2	DOWNDRAIN - CONCRETE 3" WIDE V-DRAIN	LF	80
3	RIP RAP SPLASH PAD	LS	1
4	HYDRO SEEDING	SF	1500

EARTHWORK QUANTITIES

FILL:	6,200 CY
CUT:	300 CY
OVEREXCAVATION:	2,200 CY
15% SHRINKAGE FACTOR:	375 CY
NET FILL REQUIRED:	8,025 CY

NOTES:
 1. EARTHWORK QUANTITIES PROVIDED HEREIN ARE PRELIMINARY ESTIMATES FOR INFORMATION PURPOSES ONLY. ACTUAL QUANTITIES DURING CONSTRUCTION MAY VARY. CONTRACTOR IS RESPONSIBLE FOR AND SHALL SATISFY HIMSELF OF THE ACCURACY OF THE QUANTITIES PROVIDED.
 2. FILL TO BE FROM THE ON-SITE STOCKPILE LOCATED AT THE SOUTH END OF FRONTIER DRIVE ACCESS ROAD IN THE POTRERO CANYON PARK, PACIFIC PALISADES, CA 90272.

MARRS SERVICES, INC.
 15329 & 15333 DE PAUW ST.
 POTRERO CANYON PARK
 FULLERTON, CA 92832
 714-213-8650

INDEX TO SHEETS

SHEET NO.	TITLE
C-1	NOTES
C-2	DETAILS
C-3	CROSS-SECTIONS
C-4	BUILDING AND SAFETY APPROVAL LETTERS
C-5	
C-6	

11. ALL FILL AND BACKFILL SHALL BE BLENDED INTO FIRM MATERIAL AND COMPACTED IN LEVEL 8-INCH LIFTS TO A MINIMUM OF 90% OF THE MAXIMUM DRY DENSITY AS PER ASTM D998 AND D1556. EXCEPT THAT CONSTRUCTION SHALL BE TESTED FOR DENSITY BY A CITY CERTIFIED LABORATORY.
12. APPROVAL BY THE INSPECTOR DOES NOT MEAN APPROVAL FOR FAILURE TO COMPLY WITH THE PLANS OR SPECIFICATIONS. ANY DESIGN WHICH FAILS TO BE CLEAR OR IS AMBIGUOUS, MUST BE REFERRED TO THE ENGINEER FOR INTERPRETATION OR CLARIFICATION.
13. ALL EXCAVATIONS, CUT SLOPES, REMOVAL AND RECOMPACTATION OF SOIL SHALL CONFORM TO THE "GEOLOGY AND SOIL REPORT APPROVAL LETTER" BY THE CITY OF LOS ANGELES DEPARTMENT OF BUILDING AND CONSTRUCTION, DATED NOV. 10, 2009 AND FEB. 17, 2010, INCLUSIVE OF CONDITIONS INCLUDED IN THE COMPLIANCE. ALL IMPORT MATERIAL SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER.
14. THIS PLAN HAS BEEN REVIEWED AND CONFORMS TO RECOMMENDATIONS OF SOILS ENGINEERING AND GEOLOGIC REPORTS DATED NOV. 10, 2009 AND FEB. 17, 2010.
 CHRIS JOHNSON, P.E., G.E.
 SOILS ENGINEER & REGISTRATION # 7124
 DATE: 5/13/2012
 ROBERT C. HANCOCK, C.E.G.
 GEOLOGIST & REGISTRATION # 70227
 DATE: 5/16/2012
15. STANDARD AND USED FOR THE PROJECT (SEE CURRENT REVISIONS).
 1. ADVANCE CONSTRUCTION NOTICE SIGNS - 5-791
 2. HYDRO-MULCH - REQUIREMENTS ON SHEET C-3
 3. STORM WATER PREVENTION PLAN
 4. STORM WATER PREVENTION PLAN
 5. STORM WATER PREVENTION PLAN
 6. STORM WATER PREVENTION PLAN
 7. STORM WATER PREVENTION PLAN
 8. STORM WATER PREVENTION PLAN
 9. STORM WATER PREVENTION PLAN
 10. STORM WATER PREVENTION PLAN
16. THE CONTRACTOR SHALL PREPARE AND SUBMIT SHOP DRAWINGS TO THE ENGINEER FOR THE FOLLOWING:
 a. CONSTRUCTION SCHEDULE
 b. CONCRETE MIX DESIGN (SEE SPECIAL REQUIREMENTS ON SHEET C-3)
 c. HYDRO-MULCH
 d. REQUIREMENTS FOR SHOP DRAWINGS/SUBMITTALS
 e. STORM WATER PREVENTION PLAN
 f. STORM WATER PREVENTION PLAN
 g. STORM WATER PREVENTION PLAN
 h. STORM WATER PREVENTION PLAN
 i. STORM WATER PREVENTION PLAN
 j. STORM WATER PREVENTION PLAN
 k. STORM WATER PREVENTION PLAN
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 x. STORM WATER PREVENTION PLAN
 y. STORM WATER PREVENTION PLAN
 z. STORM WATER PREVENTION PLAN
17. NO FILL SHALL BE PLACED UNTIL THE CITY BUILDING AND SAFETY GRADING INSPECTOR, THE PUBLIC WORKS ENGINEER, AND THE GEOTECHNICAL ENGINEER OF RECORD (GEO) HAS INSPECTED AND APPROVED THE BOTTOM OF EACH EXCAVATION.
18. GEOTECHNICAL ENGINEERING GROUP OF THE CITY OF LOS ANGELES (213) 847-0469 OR (213) 847-0469 SHALL BE ON SITE TO APPROVE GRADING EARTHWORK WHERE PROJECTS INVOLVE MANUAL HAZARDS (I.A.B.C. SECTION 91.100.5).
19. GEOTECHNICAL ENGINEERING GROUP OF THE CITY OF LOS ANGELES (213) 847-0469 OR (213) 847-0469 IS REQUIRED ON-SITE TO APPROVE ALL SHORING WORK INCLUDING SLOPES (I.A.B.C. SECTION 91.101.5).

ENGINEERING
 15329 & 15333 DE PAUW ST.
 POTRERO CANYON PARK
 FULLERTON, CA 92832
 714-213-8650

MARRS SERVICES, INC.
 15329 & 15333 DE PAUW ST.
 POTRERO CANYON PARK
 FULLERTON, CA 92832
 714-213-8650

INDEX NO	STRUCTURE NO.				

ENGINEERING

CARY LEE MOORE, P.E.

CITY ENGINEER

NOTES

POTRERO CANYON PARK
DE PALMVALE REMEDIATION
15329 & 14333 DE PALMVALE ST
PALMVALE, CA 90272

STRUCTURAL AND GEOTECHNICAL NOTES (CONT.)

14. NO FILL TO BE PLACED UNTIL STRIPPING OF VEGETATION, REMOVAL OF UNSUITABLE SOILS AND INSTALLATION OF SUBDRAINAGE HAS BEEN INSPECTED AND APPROVED BY THE GEO SOILS ENGINEER.
15. NO ROCK OR SIMILAR MATERIAL GREATER THAN 8" IN DIAMETER SHALL BE PLACED IN THE FILL UNLESS IT HAS BEEN APPROVED BY THE GEO SOILS ENGINEER AND APPROVED BY THE BUILDING OFFICIAL.
16. CONSTRUCTION REPORTS ARE REQUIRED FOR ALL FILL. THE CONSTRUCTION REPORT MUST INCLUDE THE TEST RESULTS FOR COMPACTION WITHIN 1% OF THE SLOPE SURFACE. A MINIMUM OF ONE (1) TEST PER 1000 SQ FEET OF SLOPE SURFACE SHALL BE TAKEN. THE VERTICAL INTERVAL BETWEEN TEST LOCATIONS SHALL NOT EXCEED 10 FEET.
17. ALL FILL THAT WAS PLACED WITHOUT INSPECTION OR APPROVAL IS TO BE REMOVED, INSPECTED AND RECOMPACTED.
18. ALL NON-CONFORMING SLOPES MUST BE MADE TO CONFORM PRIOR TO FINAL INSPECTION.
19. NO WORK WHATSOEVER SHALL BE STARTED IN OR ABOUT THE GRADING PROJECT WITHOUT FIRST NOTIFYING THE DEPARTMENT OF BUILDING AND SAFETY AND PUBLIC WORKS GRADING INSPECTORS AND APPROVING OFFICIAL.
20. ALL DEBRIS AND FOREIGN MATERIAL SHALL BE REMOVED FROM THE SITE.
21. DUST SHALL BE CONTROLLED BY WATERING, TO THE SATISFACTION OF THE INSPECTOR.
22. ALL GRADING SHALL BE IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE APPLICABLE PORTION OF THE LOS ANGELES CITY BUILDING CODE AND THE REQUIREMENTS OF THE LOCAL, STATE AND FEDERAL AGENCIES.
23. THE GEOTECHNICAL ENGINEER (GEO) SHALL BE NOTIFIED TO INSPECT THE SITE BEFORE CLEARING IS TO COMMENCE.
24. DURING CONSTRUCTION, THE DRAINAGE OF THE SITE MUST BE MAINTAINED. WHEN UTILITY TRENCHES ARE EXCAVATED, THEY SHALL BE INSTALLED TO DRAIN TO THE STREET OR TO A DRAINAGE SYSTEM. TRENCHES SHALL BE PLACED ON A SLOPE. THE TRENCH SHOULD NOT SERVE AS A DRAIN FOR THE TRIBUTARY AREA ABOVE.
25. GRADING SHALL NOT CREATE TRENCHES OR EXCAVATIONS 4 FEET OR DEEPER WHICH COULD JEOPARDIZE THE WORKERS. THERE WILL BE NO TRENCHES OR EXCAVATIONS 4 FEET OR MORE IN DEPTH INTO WHICH A PERSON IS REQUIRED TO DESCEND.
26. THE GEOTECHNICAL ENGINEER IS TO APPROVE THE KEY OR BOTTOM AND LEAVE A CERTIFICATE ON THE SITE. THIS CERTIFICATE SHALL BE IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE CERTIFICATE SHALL BE NOTIFIED BEFORE ANY GRADING BEGINS AND FOR THE BOTTOM INSPECTION. BEFORE ANY FILL IS PLACED UNLESS SHOWN OTHERWISE PER OSHA STANDARDS. (SEE NOTE 51)
27. SANITARY FACILITIES ARE REQUIRED FOR WORKERS AND INSPECTORS.
28. APPROVAL FROM THE DEPARTMENT OF PUBLIC WORKS SHALL BE OBTAINED FOR ANY EXCAVATION THAT WOULD REMOVE THE LATERAL SUPPORT OF THE PUBLIC WAY.
29. GRADING AND/OR OTHER WORK SHALL BE CONDUCTED TO THE STREET OR APPROVED DRAINAGE DEVICE BY GRADY AND NOT OVER THE SLOPE.
30. CONSTRUCTION SHALL COMPLY WITH THE REQUIREMENTS FOR EXCAVATIONS CONTAINED IN THE STATE CONSTRUCTION INDUSTRY ORDERS ENFORCED BY THE STATE DEPARTMENT OF INDUSTRIAL SAFETY.
31. PRIOR TO EXCAVATION, AN INITIAL INSPECTION SHALL BE CALLED BY THE DEPARTMENT OF BUILDING AND SAFETY. THE INSPECTION SHALL BE CONDUCTED BY THE DEPARTMENT OF BUILDING AND SAFETY. THE INSPECTION SHALL PREPARE DETAILED SECTIONS OF CONCRETE TERRACE OR CONCRETE WALLS AND FOUNDATIONS. SELECTION OF ONE PREFERRED ALTERNATE BY OWNERS REPRESENTATIVE. (SEE SPECIAL REQUIREMENTS ON SHEET C-3)
32. ANY WET MIX SHOTCRETE SHALL BE CLASS 865-D-1000P. CONTINUOUS INSPECTION IS REQUIRED BY A REGISTERED DEPUTY INSPECTOR. THE SHOTCRETE SHALL CONFORM TO THE CORRESPONDING MAXIMUM ALLOWABLE CRACKING CRITERIA FOR PUBLIC WORKS CONSTRUCTION (SPSPWC) INCLUDING SECTION 305.2 AND ALSO THE DEPARTMENT OF BUILDING AND SAFETY REG # 145.
33. CONTINUOUS INSPECTION BY THE GEOTECHNICAL ENGINEERING DIVISION IS REQUIRED FOR EXCAVATIONS.

GENERAL NOTES (CONT.)

17. ALL CONCRETE EXPOSED EDGES AND CORNERS SHALL BE CHAMFERED 3/4".
18. BOTTOM OF ALL EXCAVATIONS SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACING OF WALL REINFORCEMENTS OR BACKFILL.
19. THE GEOTECHNICAL ENGINEER SHALL OBSERVE ALL SUBDRAIN INSTALLATIONS PRIOR TO BACKFILL.

STORMWATER POLLUTION CONTROL NOTES

1. ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEETFLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES OR WIND.
2. STOCKPIRES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.
3. FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTINGS AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS MUST BE PROTECTED FROM WIND AND RAIN. SPILLS MUST BE IMMEDIATELY AND PROPERLY DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
4. WASH WATER FROM EQUIPMENT AND VEHICLE WASHING AND ANY OTHER ACTIVITY SHALL BE COLLECTED AT THE PROJECT SITE.
5. EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. WASTE CONCRETE SHALL BE STORED TO BE TRANSPORTED TO AN APPROVED FACILITY TO BE DISPOSED OF AS SOLID WASTE.
6. TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.
7. SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEEP UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
8. ANY SLOPES WITH DISTURBED SOILS OR DEVELOPED OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.

SURVEY CONTROL DATA FOR POTRERO CANYON

HORIZONTAL CONTROL: GPS, CA, ZONE 1, NAD 83 (NRSR 2007), EPOCH 2007.0
 VERTICAL CONTROL: GPS DERIVED FROM NAVD 88, 2000 ADJUSTMENT

CP # 201 - SAWMOUNT PAINTED AT X IN BEACH PARKING LOT SW OF TEMESCAL CANYON RD & PACIFIC COAST HIGHWAY
 N = 184746.94
 E = 409271.36
 EL = 27.75

CP # 202 - IN ON VORN OF SMI INTERSECTION OF FRIENDS ST & SWARTHMORE AVE
 N = 184746.94
 E = 409271.36
 EL = 27.75

CP # 203 - SMIH CA INTERSECTION OF VIA DE LA PAZ & DE PALMVALE ST
 N = 1837469.202
 E = 401457.314
 EL = 308.291

LA CITY BM - 417435 EL = 297.910
 SPK IN F CURB OF SWARTHMORE AVE, 1" N OF RC CURB RETURN N OF EARLHAM ST

USGS BM (P) = FW95961 EL = 217.720
 BRASS DISK UNDER CAP IN BIKE PATH SW OF TEMESCAL CANYON RD & PACIFIC COAST HIGHWAY

STRUCTURAL AND GEOTECHNICAL NOTES

1. ALL CONCRETE FINISHES AND PLACEMENT METHODS SHALL BE APPROVED BY THE ENGINEER. THE ENGINEER SHALL BE NOTIFIED PRIOR TO THE START OF CONSTRUCTION. THE ENGINEER SHALL PREPARE DETAILED SECTIONS OF CONCRETE TERRACE OR CONCRETE WALLS AND FOUNDATIONS. SELECTION OF ONE PREFERRED ALTERNATE BY OWNERS REPRESENTATIVE. (SEE SPECIAL REQUIREMENTS ON SHEET C-3)
2. ANY WET MIX SHOTCRETE SHALL BE CLASS 865-D-1000P. CONTINUOUS INSPECTION IS REQUIRED BY A REGISTERED DEPUTY INSPECTOR. THE SHOTCRETE SHALL CONFORM TO THE CORRESPONDING MAXIMUM ALLOWABLE CRACKING CRITERIA FOR PUBLIC WORKS CONSTRUCTION (SPSPWC) INCLUDING SECTION 305.2 AND ALSO THE DEPARTMENT OF BUILDING AND SAFETY REG # 145.
3. A REGISTERED DEPUTY INSPECTOR IS REQUIRED DURING CONCRETE AND SHOTCRETE PLACEMENT.
4. PRIOR TO PLACEMENT OF SHOTCRETE ALL LOOSE SOIL AND VEGETATION SHALL BE REMOVED TO FIRM COMPACTED MATERIAL AS APPROVED BY THE GEOTECHNICAL ENGINEER.
5. ALL BAR REINFORCEMENT SHALL CONFORM TO THE REQUIREMENTS OF ASTM DESIGNATION A615, GRADE 60.
6. BAR SPACINGS ARE CENTER TO CENTER. BAR COVERS IS THE CLEAR DISTANCE BETWEEN SURFACE OF BAR AND CONCRETE. BAR COVERS SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. REINFORCEMENT SHALL EXTEND THROUGH CONSTRUCTION JOINTS.
7. UNLESS OTHERWISE DETAILED, HEREIN OR APPROVED BY THE ENGINEER:
 - a. BARS SHALL BE LAPPED 45 DIAMETERS OF THE SMALLER BAR SPICED.
 - b. BARS SHALL BE LAPPED 45 DIAMETERS OF THE SMALLER BAR SPICED.
 - c. BARS SHOWS SPACED SHALL BE CONTINUOUS AT ALL OTHER LOCATIONS.
 - d. SPICES IN ADJACENT BARS SHALL BE STAGGERED AT LEAST ON SPICE LENGTH.
 - e. LONGITUDINAL BAR SPICES SHALL BE LAPPED 20 BAR DIAMETERS.
8. ALL UNSUITABLE SOIL EXPOSED DURING CONSTRUCTION SHALL BE EXPORTED FROM THE SITE. ON-SITE STORAGE SHALL BE LIMITED TO 10 DAYS. EXCESS SOIL SHALL BE EXPORTED FROM THE SITE. EXCESS SOIL SHALL BE EXPORTED FROM THE SITE. EXCESS SOIL SHALL BE EXPORTED FROM THE SITE. EXCESS SOIL SHALL BE EXPORTED FROM THE SITE.
9. TEMPORARY CONSTRUCTION SLOPES OVER INTO THE EXISTING FILL MATERIAL SHALL NOT EXCEED 1:1. TEMPORARY CONSTRUCTION SLOPES OVER INTO THE EXISTING FILL MATERIAL SHALL NOT EXCEED 1:1. TEMPORARY CONSTRUCTION SLOPES OVER INTO THE EXISTING FILL MATERIAL SHALL NOT EXCEED 1:1. TEMPORARY CONSTRUCTION SLOPES OVER INTO THE EXISTING FILL MATERIAL SHALL NOT EXCEED 1:1. NO UNDERCUTTING OF A VERTICAL CUT IS ALLOWED.

811

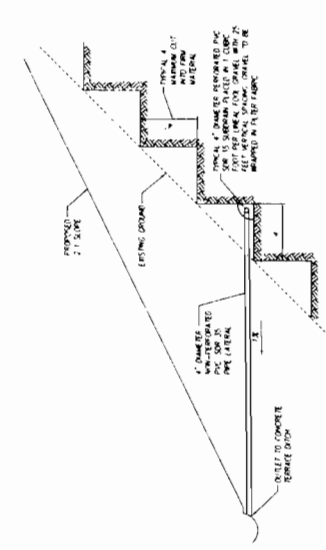
Know what's below.
Call before you dig.

CONSTRUCTION OF THIS PROJECT IS SUBJECT TO THE 2015 CALIFORNIA STATE BUILDING CODE AND THE 2015 CALIFORNIA STATE GEOTECHNICAL ENGINEERING REGULATIONS.

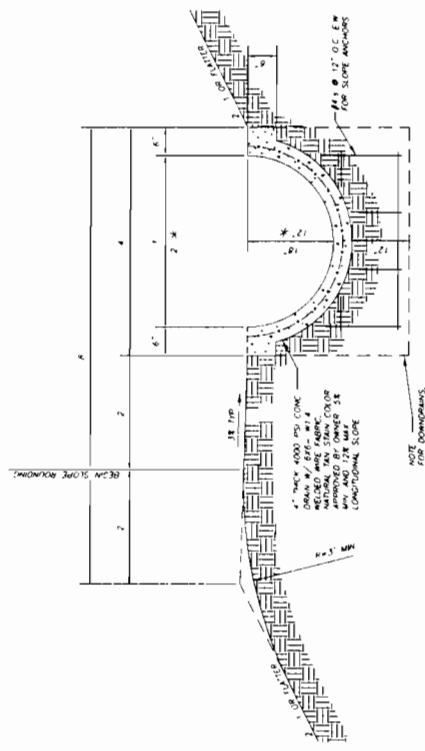
16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1

SUBDRAIN CONSTRUCTION NOTES

1. SUBDRAINS SHALL BE PLACED AT THE LOWEST DRAINABLE LOCATION.
2. PERFORATIONS SHALL BE PLACED DOWN AND TO THE SIDE.
3. SUBDRAINS SHALL BE PLACED AT A MAXIMUM OF 24-FOOT VERTICAL INTERVALS.
4. NON-PERFORATED LATERALS SHALL BE SPACED AT 100 FOOT INTERVALS AND SHALL BE CONNECTED TO THE SUBDRAINS TO COLLECTED IN THE SUBDRAINS TO THE SLOPE SURFACE.
5. LATERALS SHALL BE CONSTRUCTED WITH A 1/4" FALL TO THE SLOPE SURFACE.
6. A SUBDRAIN SHALL BE INSTALLED AT THE BEDROCK/TERRACE DEPOSIT CONTACT AS DIRECTED BY THE SOILS ENGINEER.
7. GRAVEL BAG CHIMNEY DRAIN SHALL BE PLACED AT SUBDRAIN LOCATIONS.
8. AT OUTLET TO CONCRETE TERRACE DRAIN VOIDS AND GAPS SHALL BE GROUTED WITH NON-SHRINK GROUT AND PIPE CUT FLUSH.



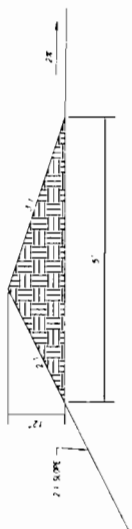
B SLOPE BENCHING DETAIL
SCALE: 1"=4'



A TYPICAL TERRACE BENCH AND DRAINAGE DITCH
SCALE: NTS

SPECIAL REQUIREMENTS:

1. CONTRACTOR SHALL USE LOCAL, NATURALLY OCCURRING SAND AND STONE FOR THE CONCRETE AGGREGATE.
2. ADD INTEGRAL "NATURAL TAN" COLOR TO THE CONCRETE TO MATCH EXISTING GEOLOGY AND SOILS (USING SERIES T COLOR: 118).
3. USE A SURFACE RETARDANT ON SURFACE PCC TO EXPOSE THE NATURAL COLOR AGGREGATE MATRIX. THE VISIBLE PCC SHALL BE MINIMIZED. USE A LOCAL AGGREGATE WITH COMPATIBLE COLOR AND CHARACTER.
4. CONTRACTOR TO PREPARE A SUBMITTAL WITH THREE (3) MOCK-UP SAMPLE 10" SECTIONS OF CONCRETE DRAIN FOR REVIEW & APPROVAL BY CITY ENGINEER PRIOR TO CONSTRUCTION.



C TOP OF SLOPE BERM DETAIL
SCALE: 1"=1'



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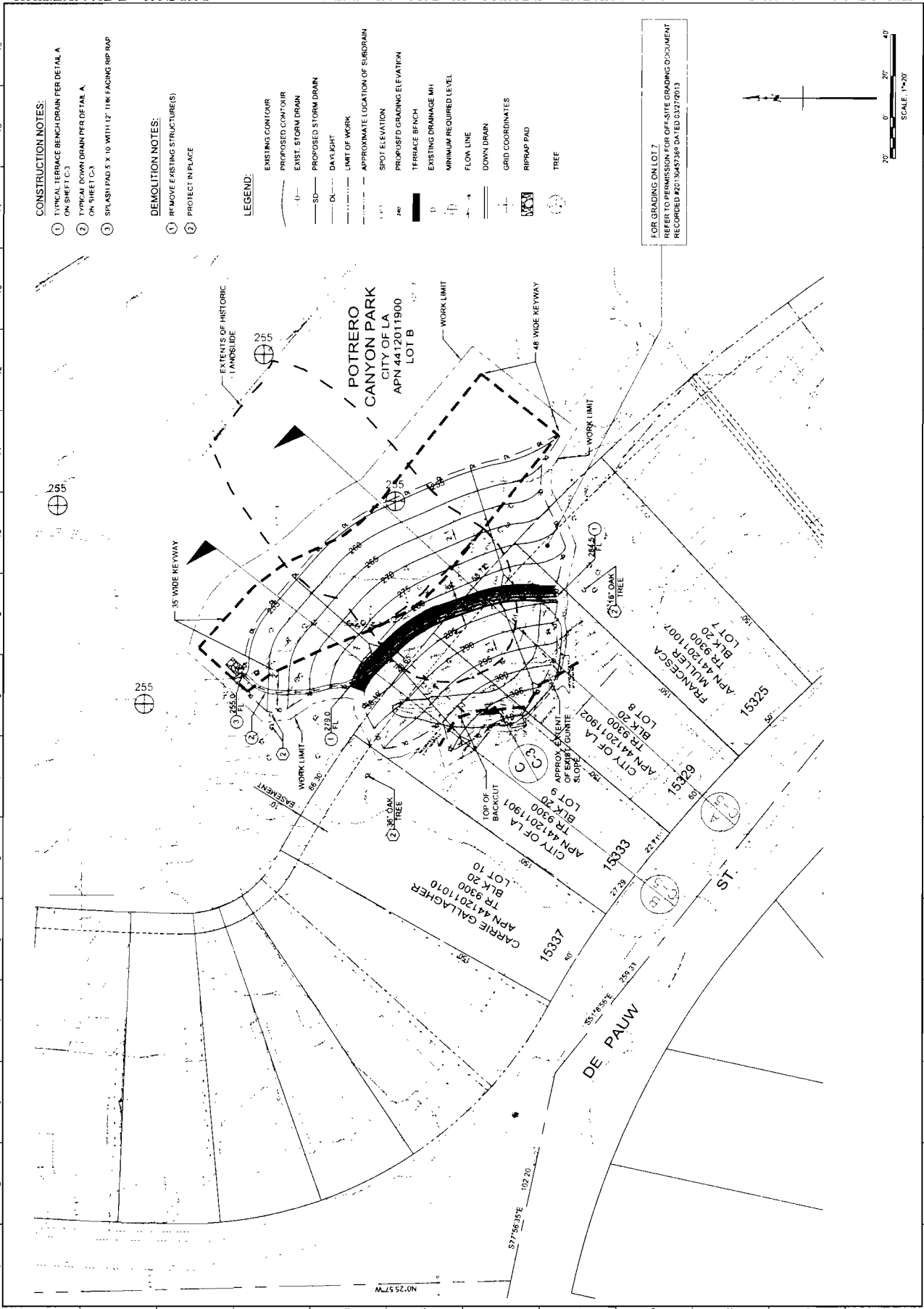
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CONSTRUCTION NOTES:

- 1 TYPICAL TERRACE BENCH DRAIN PER DETAIL A ON SHEET C-3
- 2 TYPICAL DOWN DRAIN PER DETAIL A ON SHEET C-3
- 3 SPLASH PAD 5' X 10' WITH 1.2" THK FACING RIP RAP

DEMOLITION NOTES:

- 1 REMOVE EXISTING STRUCTURE(S)
- 2 PROTECT IN PLACE

LEGEND:

- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXIST. STORM DRAIN
- PROPOSED STORM DRAIN
- DAYLIGHT
- LIMIT OF WORK
- APPROXIMATE LOCATION OF SUBDRAIN
- SPOT ELEVATION
- PROPOSED GRADING ELEVATION
- TERRACE BENCH
- EXISTING DRAINAGE MH
- MINIMUM REQUIRED LEVEL
- FLOW LINE
- DOWN DRAIN
- GRID COORDINATES
- RIPRAP PAD
- TREE

FOR GRADING ON LOT 7
 REFER TO PERMISSION FOR OFF-SITE GRADING DOCUMENT
 RECORDED #201945736 DATED 03/27/2013



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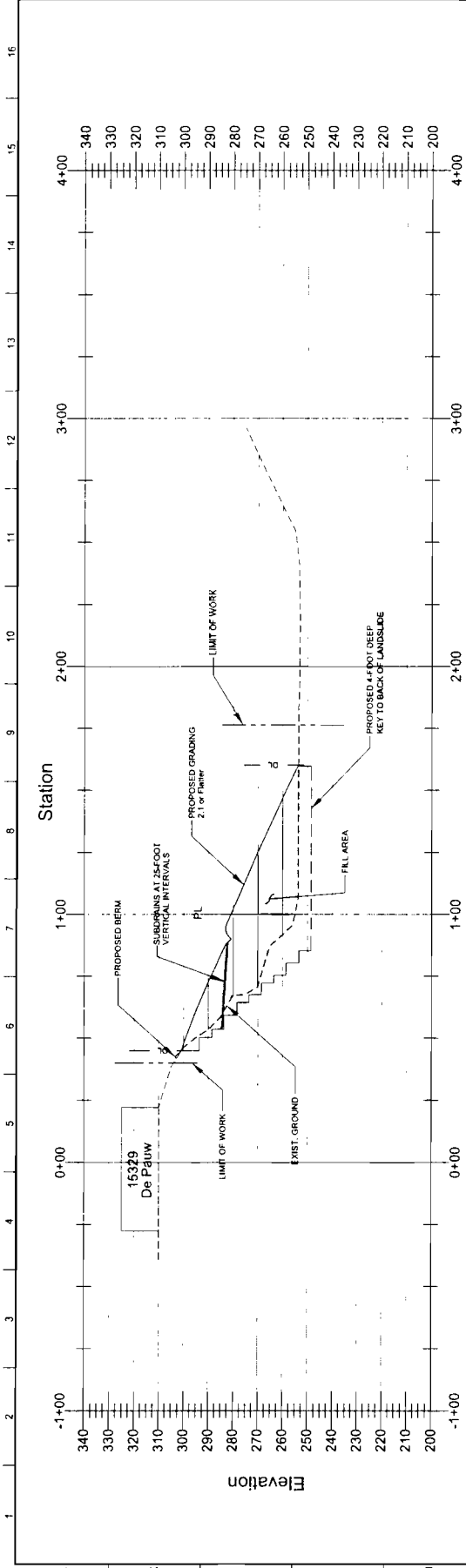
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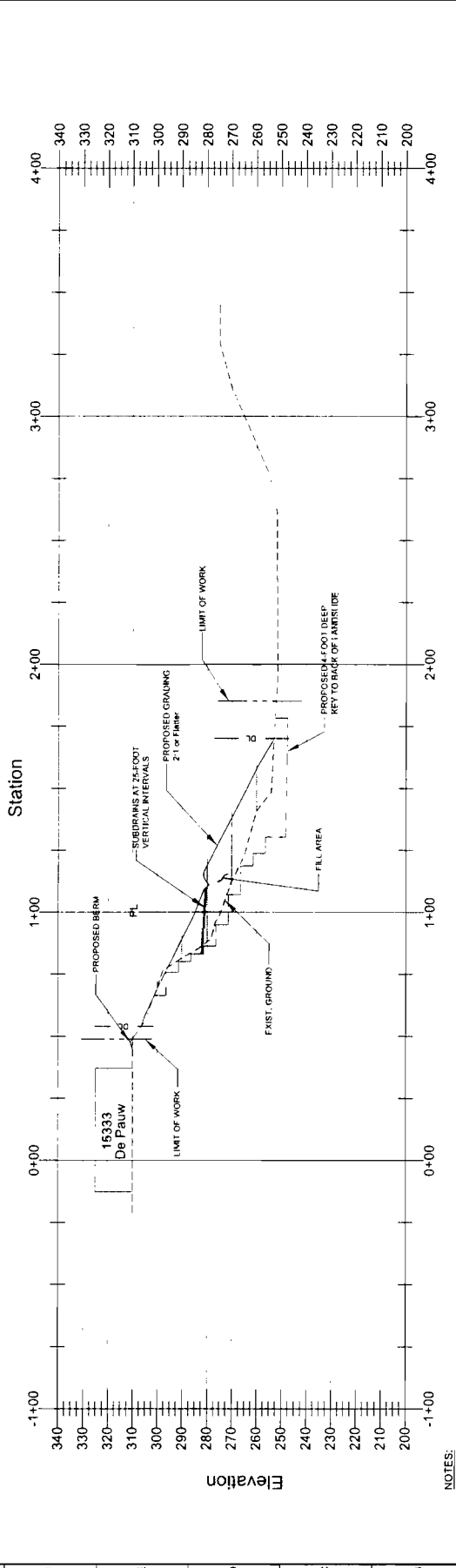
PROJECT NO.	15329 & 15333 DE PAUW ST
PROJECT NAME	POTRERO CANYON PARK DE PAUW SLOPE REMEDIATION
CITY	PACIFIC PALISADES, CA 90272
DATE	5/1/2013
DESIGNED BY	JOHN HANCOCK
CHECKED BY	WALTER SCHWARTZ, P.E.
DATE	5/1/2013

PROJECT NO.	E1907428
PROJECT NAME	CROSS-SECTIONS
CITY	PACIFIC PALISADES, CA 90272
DATE	5/1/2013

SCALE	1" = 5' - 0"
SCALE	1" = 20'



SECTION A - 15329 De Pauw St. Profile



SECTION B - 15333 De Pauw St. Profile

- NOTES:
- REMOVE LOOSE SOIL AND BENCH INTO FIRM MATERIAL AS DIRECTED BY THE ENGINEERING GEOLOGIST. INSTALL SUBDRAINS IN NOT LESS THAN 25 FOOT VERTICAL INTERVALS
 - ALL GRADED SLOPES SHALL BE PLANTED AND IRRIGATED DURING PLANT ESTABLISHMENT.

