

# APPROVED

April 02 2026

## BOARD OF RECREATION AND PARK COMMISSIONERS

### BOARD REPORT

NO. 26-071

DATE April 2, 2026

C.D. 3

### BOARD OF RECREATION AND PARK COMMISSIONERS

SUBJECT: PARCEL MAP AA-2026-140-PM – RECOMMENDATION TO THE ADVISORY AGENCY FOR IN-LIEU PARK FEE PAYMENT

B. Aguirre	_____	M. Rudnick	_____
B. Jones	_____	for *C. Santo Domingo	<u>DF</u>
C. Stoneham	_____	N. Williams	_____

  
 \_\_\_\_\_  
 General Manager

Approved   X                        Disapproved \_\_\_\_\_                      Withdrawn \_\_\_\_\_

### RECOMMENDATIONS

1. Recommend that the Advisory Agency require Parcel Map AA-2026-140-PM (Project) to provide an in-lieu fee payment to the City in order to fulfill the Project’s requirements under provisions of Los Angeles Municipal Code (LAMC) Section 12.33 to the satisfaction of RAP; and,
2. Authorize RAP’s General Manager or designee to provide a Report to the Advisory Agency informing them of the Board of Recreation and Parks Commissioners’ (Board) recommendation.

### SUMMARY

Ordinance 184,505 (Parks Dedication and Fee Update Ordinance) became effective on January 11, 2017. Ordinance 184,505 requires most residential projects that create new dwelling units or joint living and work quarters to dedicate land or to pay a fee in-lieu (Park Fee) for the purpose of developing park and recreational facilities. Residential projects that propose one or more additional dwelling units are subject to these requirements unless they meet one of the exceptions listed in LAMC Section 12.33.C.3 (e.g. certain affordable housing units and secondary dwelling units may be exempt from any requirement to pay a fee).

LAMC Chapter 1ASEC. 13B.7.1.C.2.a (Advisory Agency) states in part that, “[t]he Advisory Agency is charged with the duty of making investigations and reports on the design and improvement of proposed subdivisions, of requiring the dedication of land, the payment of fees in lieu thereof, or a combination of both, for the acquisition and development of park and recreation sites and facilities...”. The Director of the City Planning Department (City Planning) is designated as the Advisory Agency for the City of Los Angeles and is authorized to act in such capacity through one or more deputies appointed by him or her for that purpose.

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LAMC Chapter 1A SEC. 13B.7.1.D.3.b (Subdivision Committee) states that RAP is to submit a Report to the Advisory Agency for each application for subdivision map approval and that report "shall contain recommendations, approved by the Board of Recreation and Park Commissioners, specifying the land to be dedicated, the payment of fees in lieu thereof, or a combination of both for the acquisition and development of park or recreational sites and facilities to serve the future inhabitants of such subdivision...".

### PROJECT SUMMARY

The proposed Project, located at 21300 West Oxnard Street, is a 100% affordable residential development that consists of one 7-story 173-unit apartment building (Phase 1) and one 8-story 128-unit apartment building (Phase 2). Each building would have two designated managers' units. Each building proposes two-levels of parking, with a total of 229 parking stalls and 288 bike spaces provided to residents. Previously, the site consisted of a 2-story 35,000 square foot commercial building with a surface parking lot. Construction for the Project is in progress, but a parcel map was filed to subdivide land after administrative approval was given for ADM-2023-6353-DB-SPPHCA-WC-ED1 (Attachment 1). Each building includes amenities for residents, as well as access to third floor residential courtyards that include small exercise areas, a kids play areas, and shaded common open spaces. All amenities would only be accessible to residents.

The Project, as submitted to City Planning, is not proposing to make an on-site or off-site land dedication to the City of Los Angeles.

The Project Entitlement Package and Renderings are attached (Attachment 2).

### EARLY CONSULTATION MEETING

Pursuant to LAMC Section 12.33 D.1, applicants of residential Subdivision projects with more than fifty residential dwelling units are required to meet with RAP and City Planning prior to submitting a tract map application to City Planning. Per LAMC Section 12.33.D.1, "[t]he purpose of this early consultation is to discuss whether the City requires land dedication for the project and/or to discuss credits available to the applicant, if any."

RAP and City Planning staff held an Early Consultation meeting with Project representatives on **March 19, 2026**. The meeting included a discussion of the requirements of Los Angeles Municipal Code Section 12.33, the maximum land dedication that the Project could be required to provide, options and opportunities for on-site or off-site park land dedications, the calculation of Park Fees, and the various recreational credits available to the Project.

### ADVISORY AGENCY

The Project filed a parcel map application with City Planning on **January 13, 2026**. On January 30, 2026, the Advisory Agency sent RAP a notification requesting RAP provide its report and recommendations on the Project by **March 10, 2026**. Since the required Early Consultation meeting was not completed, the parcel map application remained on "hold" until

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the required meeting was completed. The Advisory Agency Filing Notification is attached (Attachment 3).

If no written Report is provided to the Advisory Agency, the Advisory Agency will assume that RAP has no report to make.

### REQUIRED LAND DEDICATION / IN-LIEU FEE PAYMENT

Pursuant to LAMC Section 12.33 C, "All new residential dwelling units and joint living and work quarters shall be required to dedicate land, pay a fee, or provide a combination of land dedication and fee payment for the purpose of acquiring, expanding and improving park and recreational facilities for new residents."

#### Land Dedication

LAMC Section 12.33.D states that residential subdivision projects with more than fifty residential dwelling units can be required by the City to dedicate land to the City for park and recreation purposes. The maximum amount of land that the Advisory Agency could require a project to dedicate to the City is calculated based on the formula detailed in LAMC Section 12.33.D.2:

- **LD = (DU x P) x F**
  - **LD** = Land to be dedicated in acres.
  - **DU** = Total number of new market-rate dwelling units.
  - **P** = Average number of people per occupied dwelling unit as determined by the most recent version of the U.S. Census for the City of Los Angeles.
    - **P = 2.7**
  - **F** = Park Service factor, as indicated by the Department of Recreation and Parks rate and fee schedule.
    - **F = 0.00251 (2.51 acres of park land per 1,000 residents)**

The maximum land dedication for the Project would be:

$$\mathbf{2.04\ Acres = (301 \times 2.7) \times 0.00251}$$

The amount of land that is required to be dedicated is subject to change depending on the Park Service factor in effect at the time the Project is required to dedicate the land; the number of exempt dwelling units (e.g. affordable housing units, existing dwelling units to be replaced on site, etc.) included as part of the Project; any Dwelling Unit Construction Tax previously paid by the Project; and, any credits granted by RAP to the Project for improvements to dedicated park land or for eligible privately owned recreational facilities and amenities.

As currently proposed, the Project has 297 units that would likely qualify for an exemption per LAMC Section 12.33.C.3. If those dwelling units are ultimately determined to be exempt, the maximum required land dedication for the Project would be:

$$\mathbf{0.02\ Acres = (4 \times 2.7) \times 0.00251}$$

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Per LAMC Section 12.33.D.3, a project that is required to make a land dedication to the City may make said land dedication, or any portion thereof, either on-site or off-site of the project location. Any off-site land dedication must be located within a certain radius from the project site, as specified below:

- a) Neighborhood Park: within a 2-mile radius
- b) Community Park: within a 5-mile radius
- c) Regional Park: within a 10-mile radius

While the Advisory Agency has the authority to require the Project to dedicate land to the City for park purposes, the Board would need to approve any proposed park land dedication before that land can be acquired and accepted by the City. Therefore, if the Advisory Agency requires the Project to dedicate land to the City, RAP staff would need to prepare a subsequent report to the Board regarding the proposed land dedication. That report would detail the amount and location of the land being dedicated, and the improvements, if any, proposed to be developed on the dedicated property. Additionally, if it is determined that the Project will provide a combination of land dedication and fee payment, the report would also identify the amount of in-lieu fees that would be owed to the City after RAP credits the Project for the amount of land being dedicated.

Per Section 66477(a)(7) of the California Government Code, "Only the payment of fees may be required in subdivisions containing 50 parcels or less, except that when a condominium project, stock cooperative or community apartment project, as those terms are defined in Sections 4105, 4125, and 4190 of the Civil Code, exceeds 50 dwelling units, dedication of land may be required notwithstanding that the number of parcels may be less than 50." The Project, as described in this Report, consists of 301 residential apartment units.

In-Lieu Fee Payment

Pursuant to LAMC Section 12.33, the Park Fee amount is determined by the type of residential development project (Subdivision or Non-Subdivision) being developed. RAP shall collect these fees pursuant to LAMC Section 19.17 and the Park Fees Section of RAP's Rate and Fee Schedule. As of July 1, 2025, Residential Subdivision projects that are subject to the Subdivision fee shall pay:

**\$17,964.00 x number of new non-exempt dwelling units**

The maximum Park Fees payment for the Project would be:

**\$5,407,164.00 = \$17,964.00 x 301 dwelling units**

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As currently proposed, the Project has 297 that would likely qualify for an exemption per LAMC Section 12.33 C.3. If those dwelling units are ultimately determined to be exempt, the maximum required land dedication for the Project would be:

$$\mathbf{\$71,856.00} = \$17,964.00 \times 4 \text{ dwelling units}$$

The amount of Park Fees that are required to be paid is subject to change depending on the Park Fee schedule in effect in the year of payment; the number of exempt dwelling units (e.g. affordable housing units, existing dwelling units to be replaced on site, etc.) included as part of the Project; any Dwelling Unit Construction Tax previously paid by the Project; and, any credits granted by RAP to the Project for improvements to dedicated park land or for eligible privately owned recreational facilities and amenities.

Per LAMC Section 12.33.E.3, any Park Fees collected by the City shall be expended within a certain radius from the project site, as specified below:

- a) Neighborhood Park: within a 2-mile radius
- b) Community Park: within a 5-mile radius
- c) Regional Park: within a 10-mile radius

### STAFF ANALYSIS AND RECOMMENDATION

In order for RAP staff to determine which mechanism, land dedication or payment of Park Fees, to recommend for the Board's review and approval, RAP staff analyzes each proposed development project including its location, new population, surrounding parks, any nearby active or proposed park acquisition or park development project, existing park service radius gaps, etc. RAP staff also analyzes any parks, open spaces, or recreational areas anticipated to be provided by each proposed development project in order to determine if those facilities would reduce the need for new public recreation and park facilities to serve the project residents.

One of the most critical factors that RAP staff uses to analyze proposed developments is existing park service radius gaps. According to the Trust for Public Land 2025 Park Score Index, approximately 62% of residents in the City of Los Angeles live within a 10-minute walk, from a public park or open space. The Mayor's Office of Sustainability pLAN sets a goal of increasing the percentage of Angelenos living within a one-half mile from a park to at least 65% by 2025; 75% by 2035; and 100% by 2050. RAP has employed a variety of strategies, such as the 50 Parks Initiative, that are intended to increase park access and meet these park access goals.

### Site Analysis

The Project is located within the Woodland Hills community of the City and within the Canoga Park - Winnetka - Woodland Hills - West Hills Community Plan Area and Warner Center Specific Plan Area. Currently, the site is vacant. The Project is located at 21300 West Oxnard Street. An aerial view of the Project site is attached hereto (Attachment 4). A map showing the generalized zoning of the Project site and the Community Plan Area is also attached (Attachment 5).

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Below is an analysis of the citywide density and local community density:

- City of Los Angeles Population Density (2020-2024 American Community Survey): 8,216 persons per square mile.
- Canoga Park - Winnetka - Woodland Hills - West Hills Community Plan Area (2020-2024 American Community Survey): 7,045 persons per square mile.

### Parks Needs Assessment

As part of the Park Needs Assessment (PNA), the PerSquareMile tool was used to identify potential areas where RAP might invest in developing new parks. The PerSquareMile analysis identified the most populous, park-underserved 1-mile grid areas in Los Angeles. It then narrowed these areas by identifying the grids with the highest socially and environmentally vulnerable people. This analysis was designed to guide investments in creating new park spaces to maximize impact. Using this tool, the PNA identified a total of 36 New Park Priority Areas for addressing the top 25% of the City's need for new parks and additional park acreage.

The Project is not located within one of the 36 New Park Priority Areas.

### Project Open Space and Recreational Areas

The Project includes common open spaces such as exercise areas, courtyards, kids play areas, and shaded community gathering areas; these amenities would only be accessible to residents. In total, 38,388 square feet of private & common open space is proposed.

Although the amount of common open space to be provided by the Project meets the minimum amount of open space required per LAMC Section 12.21, it does not appear that these open spaces would include the type and variety of active and passive recreational facilities and amenities that are typically found in the City's Neighborhood and Community Parks and that are needed to meet the needs of residents of all ages and abilities.

As currently proposed, these recreational amenities would not likely reduce the Project's impact on existing public recreational and park facilities. These amenities would not likely significantly reduce the need for new or expanded public recreational and park facilities.

### Public Park Access

There is one public park within a half-mile walking distance of the Project site:

- Warner Ranch Park is a Community Park located at 5830 North Topanga Canyon Boulevard. The 17-acre park includes a fitness zone, an amphitheater, one playground, and restrooms.

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As previously noted in this Report, a land dedication for a new public park could be located either on-site or off-site of the Project location. If a new public park was provided off-site of the Project location the park would serve the new residents of the Project as well as an unknown number of new, previously unserved, residents within a half-mile walking distance. If the proposed Project does elect to make some or all of its required land dedication off-site, staff would work with the Project to identify a site that would serve project residents, help close an existing park service area gap, and maximize, to the extent feasible, the number of new residents who would be within a half-mile walking distance of a public park.

### Staff Recommendation

RAP staff recommends that the appropriate mitigation measure for this proposed Project is the payment of in-lieu fee payment to the City as the Project is proposing the construction of apartment units.

### FISCAL IMPACT

The potential Fiscal Impact to the RAP's General Fund is currently unknown.

This Report was prepared by Jeremy Silva, City Planning Associate, Planning, Maintenance and Construction Branch.

### LIST OF ATTACHMENTS

- 1) Attachment 1 – ADM-2023-6353-DB-SPP-HCA-WC-ED1
- 2) Attachment 2 – Entitlement Package and Project Renderings
- 3) Attachment 3 – Advisory Agency Filing Notice AA-2026-140-PM
- 4) Attachment 4 – Aerial View of Project Site
- 5) Attachment 5 – Generalized Zoning Map
- 6) Attachment 6 – Project Location and Surrounding Parks

**DEPARTMENT OF  
CITY PLANNING**

COMMISSION OFFICE  
(213) 978-1300

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**WARNER CENTER 2035 SPECIFIC PLAN**

October 30, 2023

**Applicant**

George Russo  
Warner Center I, LP  
11150 W Olympic Boulevard, Suite 620  
Los Angeles, CA 90064

**Owner**

Warner Lily, LLC  
c/o Raymond Saviss  
1762 Westwood Boulevard, Suite 350  
Los Angeles, CA 90024

**Representative**

Brad Rosenheim and Sarah Golden  
Rosenheim & Associates, Inc.  
21600 Oxnard Street, Suite 630  
Woodland Hills, CA 91367

**Case No.**

ADM-2023-6353-DB-SPP-  
HCA-WC-ED1

**CEQA:**

N/A

**Location:**

21300 W Oxnard Street

**Council District:**

3 – Blumenfield

**Area Planning**

South Valley

**Commission:**

Woodland Hills - Warner

**Neighborhood Council:**

Center

**Community Plan Area:**

Canoga Park - Winnetka -  
Woodland Hills – West Hills

**Specific Plan:**

Warner Center 2035

**Specific Plan Subarea:**

Commerce District

**Legal Description:**

Lot B, PM 3752

**LETTER OF COMPLIANCE – Ministerial Density Bonus Per AB 2345, AB 2334, and  
Specific Plan Project Permit Compliance**

Pursuant to California Government Code Section 65915, and the Los Angeles Municipal Code (LAMC) Sections 12.22 A.25, 11.5.7, and Section 5.3.3 of the **Warner Center 2035 Specific Plan** (Ordinance 182,766), I have reviewed the proposed Project and as the designee of the Director of Planning, I hereby:

**Determine**, based on the whole of the administrative record, that the Project is statutorily exempt from the California Environmental Quality Act (CEQA) as a ministerial project, pursuant to Government Code Section 65915 and California Public Resources Code Section 21080(b)(1); and

**Determine**, that the project qualifies as a ministerial review, pursuant to Resolution (CF 22-1545) relative to the Declaration of Local Emergency by the Mayor, dated December 12, 2022, concerning homelessness in the City of Los Angeles, pursuant to the provisions of the Los Angeles Administrative Code (LAAC) Section 8.27, adopted by the City Council

on December 13, 2022 and Executive Directive 1 issued December 16, 2022 and revised July 6, 2023.

**Approve**, a ministerial review of a **Density Bonus Compliance**, pursuant to California Government Code Section 65915 and LAMC Section 12.22 A.25, for a 100 percent affordable housing development project, exclusive of any manager's units, consisting of 301 residential units, 20 percent of the units set aside for Moderate Income Household occupancy (HCD rent schedule 6) and 80 percent of the units set aside for Low Income Household occupancy, and with the following three Off-Menu Incentives:

a. **Permitted Development by Floor Area.** 0 percent of Non-Residential Floor Area in lieu of 50 percent required based on the Project's Total Floor Area Ratio (FAR) of 3.02, pursuant to Section 6.1.2.2.3 of the Warner Center 2035 Specific Plan;

b. **Ground Floor Limitations.** A floor to floor height of 12 feet in lieu of 15 feet otherwise required, pursuant to Section 6.1.2.2.4(a) of the Warner Center 2035 Specific Plan;

c. **Ground Floor Limitations.** Parking on the ground level with 12 percent of Non-Residential Floor Area in lieu of 80 percent required for a Project that is adjacent to a public street, pursuant to Section 6.1.2.2.4(d);

**Approve**, a ministerial review of a **Project Permit Compliance Review** for a Multiple-Phase multifamily residential development located in the Warner Center 2035 Specific Plan;

**Adopt** the attached Findings.

## CONDITIONS OF APPROVAL

The following conditions are hereby imposed upon the use of the subject property:

1. **Site Development.** Except as modified herein, the Project shall be in substantial conformance with the plans and materials submitted by the applicant, stamped "Exhibit A," and attached to the subject case file. No change to the plans will be made without prior review by the Department of City Planning, Valley Project Planning Division, and written approval by the Director of Planning. Each change shall be identified and justified in writing. Minor deviations may be allowed in order to comply with the provisions of the Municipal Code, the project conditions, or the project permit authorization.
2. **Residential Density.** The Project shall be limited to a maximum density of 301 residential units, including four manager's units.
3. **On-site Restricted Affordable Units.** The project shall provide 100 percent on-site restricted affordable units, exclusive of any managers units. Twenty percent or 59 units shall be reserved for Moderate Income Household occupancy and eighty percent or 238 units shall be reserved for Low Income Household occupancy for a period of 55 years, as defined by California Government Code Section 65915 and the Los Angeles Housing Department (LAHD).
4. **Changes in On-site Restricted Units.** Deviations that increase the number of restricted affordable units or that change the composition of units or change parking numbers shall be consistent with California Government Code Section 65915 and LAMC Section 12.22 A.25.
5. **Housing Requirements.** Prior to issuance of a building permit, the owner shall execute a covenant to the satisfaction of the Los Angeles Housing Department ("LAHD"). The covenant shall bind the owner to reserve 20 percent or 59 units of the units available to Moderate Income Households (HCD/State) and 80 percent or 238 of the units available to Low Income Households (HUD/TCAC) for sale or rental as determined to be affordable to such households by LAHD for a period of 55 years. In the event the applicant reduces the proposed density of the project, the number of required set aside affordable units may be adjusted, consistent with LAMC Section 12.22 A.25, to the satisfaction of LAHD, and in consideration of the project's SB 8 Determination. Enforcement of the terms of said covenant shall be the responsibility of LAHD. The Applicant will present a copy of the recorded covenant to the Department of City Planning for inclusion in this file. The project shall comply with the Guidelines for the Affordable Housing Incentives Program adopted by the City Planning Commission and any monitoring requirements established by the LAHD. Refer to the Density Affordable Housing Incentive Program Background and Housing Replacement (SB 8 Determination) Background sections of this determination.

Note: LAHD will confirm and determine the affordable housing units, income category and rent schedules. Per AB2334, up to 20% of the units may be Moderate at HCD rent schedules.

6. **100% Affordable Housing Project (ED1).** If a project changes at any time in the review and construction process such that it no longer meets ED 1 eligibility criteria, the project

becomes disqualified from ED1 streamlining and all prior determinations on the project become inapplicable. For projects requiring a City Planning application, if a project changes at any point during the City Planning review or post-approval process such that the project would no longer qualify for ED 1, a new application for the revised project shall be required.

**7. Density Bonus Off-Menu Incentives:**

- a. **Permitted Development by Floor Area.** The project shall be permitted 0 percent of Non-Residential Floor Area in lieu of 50 percent required, based on the Project's Total Floor Area Ratio (FAR) of 3.02 as required, pursuant to Section 6.1.2.2.3 of the Warner Center 2035 Specific Plan;
- b. **Ground Floor (Height) Limitations.** The project shall be permitted a floor to floor height of 12 feet in lieu of 15 feet otherwise required, pursuant to Section 6.1.2.2.4(a) of the Warner Center 2035 Specific Plan;
- c. **Ground Floor (Use) Limitations.** Parking shall be permitted on the ground level with 12 percent of Non-Residential Floor Area in lieu of 80 percent required for a Project that is adjacent to a public street, pursuant to Section 6.1.2.2.4(d).

8. **Automotive Parking.** Based upon the number and type of dwelling units proposed, a minimum 301 parking spaces shall be provided for the project. Pursuant to LAMC Section 12.21 A.4, the Project is eligible for a parking reduction of up to 30 percent to be replaced with bicycle parking at a ratio of 1:4. The project proposes a total of 229 parking spaces.

9. **Bicycle Parking.** Bicycle parking shall be provided consistent with LAMC Section 12.21 A.16.

10. **Adjustment of Parking.** In the event that the number of Restricted Affordable Units should increase, or the composition of such units should change (i.e., the number of bedrooms, or the applicant selects another Parking Option (including Bicycle Parking Ordinance) and no other Condition of Approval or incentive is affected, then no modification of this determination shall be necessary, and the number of parking spaces shall be re-calculated by the Department of Building and Safety based upon the ratios set forth above.

**11. Warner Center 2035 Specific Plan Project Permit:**

- a. **Multiple Phase Projects.** Pursuant to the Specific Plan Section 5.3.3.2, the Multiple-Phase Project shall comply with the following on a phase-by-phase basis:
  - i. Phase 1 involves the demolition of an existing, two-story building consisting of approximately 23,906 square feet of office space and approximately 11,816 square feet of educational institution, including 228 surface parking spaces, for the construction of a seven-story, approximately 83 foot high multifamily residential building comprising 173 dwelling units and associated amenities with 167,487 square feet of Residential Floor Area. One hundred seventy-one of the units shall be restricted as affordable and the remaining two units shall be

unrestricted as manager's units. The ground floor shall house non-habitable amenities such as an office, community room and lobby, as well as parking.

Parking shall be provided over two levels, one at-grade and one-above grade for a total of 159 parking spaces.

Phase 1 is anticipated to be completed in April 2026. If this timeframe becomes no longer feasible, the applicant shall submit a new phasing plan with an updated schedule for inclusion in the project case file.

- ii. Phase 2 involves the construction of an eight-story, 91 foot high multifamily residential building and shall comprise 128 dwelling units with 129,000 square feet of Residential Floor Area. One hundred twenty-six of the units shall be restricted as affordable and the remaining two units shall be unrestricted as manager's units. The ground floor shall house non-habitable amenities such as a lobby, mailroom, and leasing office, as well as parking.

Parking shall be provided over two levels, one at-grade and one-above grade for a total of 70 parking spaces.

Phase 2 is proposed to be completed in April 2027. If this timeframe becomes no longer feasible, the applicant shall submit a new phasing plan with an updated schedule.

In compliance with Section 5.3.3.2, no Project Permit Compliance review shall be required for future building permit applications for Phase 2 of the Project, provided that each Phase of the development shall be reviewed by the Director for substantial compliance with "Exhibit A" and the applicable terms and conditions of this Multiple-Phase Project approval.

- b. **Uses.** The Project shall provide a Residential use consisting of 301 units.
- c. **Intensity.** The Project shall be limited to an FAR of 3.02:1.
- d. **Permitted Development by Floor Area.** As approved and shown on "Exhibit A," the Project shall provide 0 percent of Non-Residential Floor Area and a maximum of 100 percent Residential Floor Area of the total floor area, pursuant to the Graduated FAR Table in Section 6.1.2.2.3 of the Warner Center 2035 Plan for projects that have a floor area ratio (FAR) greater than 3.0:1.

The Project shall be limited to a total of 296,487 square feet of floor area for all phases and buildings in conformance with "Exhibit A" and as follows:

<b>Phase</b>	<b>Residential Square Footage</b>
Phase 1 Building	167,487
Phase 2 Building	129,000
<b>Total</b>	<b>296,487</b>

- e. **Ground Floor Limitations.** Pursuant to Section 6.1.2.2.4 of the Warner Center 2035 Plan, the following are required to be satisfied on a phase-by-phase basis:
- i. **Permitted Non-Habitable Uses Ancillary to Residential Use.** Ground floor Non-Residential development shall be defined as including non-habitable uses that are used in conjunction with residential uses for the Project, including but not limited to: leasing offices, community centers, entrance lobbies, gymnasium/fitness center, residential business center, residential amenity space, and concierge services. The project shall include these non-habitable uses on the ground floor.
  - ii. **Residential Uses.** The Project shall not contain ground floor residential uses.
  - iii. **Depth and Height.** Ground floor Non-Residential development, as defined above, shall have a minimum depth of 25 feet from the front Building Façade, and a minimum floor-to-floor height of 12 feet in lieu of the required 15 feet in height, in conformance with Warner Center 2035 Plan Section 6.1.2.2.4(a). Prior to the issuance of building permits for each phase, plans shall be provided demonstrating conformance with these requirements;
  - iv. **Transparency.** Ground floor Non-Residential development, as defined above, shall have a minimum of 75% of the Building Facade located between 30 inches and 84 inches from the finished grade devoted to transparent windows and/or doors. Dark tinted, reflective, or opaque glazing shall not be counted towards such minimum percentage. Prior to the issuance of building permits for each phase, plans shall be provided demonstrating conformance with these requirements;
  - v. **Parking.** As depicted on “Exhibit A,” parking shall be permitted on the ground floor of the Project with the following limitations and requirements:
    - i. 12 percent of the ground floor frontage shall be devoted to Non-Residential Floor Area (in lieu of 80 percent required) on any side of an above-grade parking structure adjacent to a public street (not including an alley) or adjacent to a public open space/plaza shall be devoted to ground floor Non-Residential uses (non-habitable uses such as a lobby, community room, leasing office, etc.). The final plans shall include a chart identifying all ground floor uses (Non-Residential and Residential), square footages, and calculations demonstrating that a minimum of 12 percent of the ground floor frontage is reserved for Non-Residential uses.
  - vi. A minimum of the first 12 vertical feet of the ground-level Building Façade that includes all of the following features:
    - i. Articulation and modulation through changes in vertical wall plane and/or a change in building material.
    - ii. Use of windows with non-reflective glazing that may be translucent but not

black or mirrored glass or similar opaque glazing;

- iii. Integration of building entrances; and
  - iv. Buffering of the street edge with landscaping, berms, or landscaped planters.
- f. **Height.** As depicted in “Exhibit A,” the Project shall be permitted a building height of 83 feet for the Phase 1 Building and 91 feet for the Phase 2 Building. This shall include maintaining a minimum 35-foot-high vertical street wall along Oxnard Street. Roof projections (i.e., elevator shaft, parapet, enclosed mechanical equipment, etc.) as shown in Exhibit A shall be permitted.
- g. **Street Standards – Improvements and Dedications.** Oxnard Street is designated as a Major Highway Class 2 and shall be in compliance with Table 2 of the Specific Plan as shown on “Exhibit B,” which requires on the south side of the east/west section a 52-foot half right-of-way, a 40-foot half roadway, an eight-foot half sidewalk, eight-foot half parkway, and a four-foot half easement satisfactory to the Bureau of Engineering: **(DOT/BOE/DCP)**
- h. **Front Setbacks.** The Project shall have a front setback on Oxnard Street of not less than 12 feet and no more than 20 feet. The Project proposes a minimum of 12 feet front yard setback.
- i. **Publicly Accessible Open Space (PAOS) for Phase 1 and Phase 2:**
- i. At completion of Phase 1, the Project shall provide 8,436 square feet of PAOS according to Sheets LP-0 thru LP-5 for Phase 1 of “Exhibit A.” The Phase 1 PAOS shall meet Section 6.2.2 standards until it is necessary to remove for Phase 2 construction.

Furthermore, the Phase 1 PAOS shall be:

- 1. contiguous, remaining unfenced and ungated; therefore it shall not be enclosed or bordered by a fence of any type, size, or shape, including temporary fencing or gates; planter/garden walls enclosing planted areas shall not be more than 2 foot in height unless they are LID required planters;
- 2. integrated into the overall design of the Project;
- 3. integrated with neighboring buildings or structures and any existing, or approved, PAOS, if applicable;
- 4. maintained in good condition;
- 5. open to the public, at minimum, from 6:00 a.m. to 10:00 p.m., seven days a week. There shall be at least two signs stating the hours of

operation of the PAOS, including in the focal point unobstructed from public view. PAOS identification signage shall indicate that the PAOS is available for use by the public from, at minimum, 6 a.m. to 10 p.m., seven days a week. Supporting documentation of signage and placement shall be submitted to the subject case file prior to final signoff and be kept with the file for this case. This identification signage shall not be counted against a Project's signage limitation.

- ii. The Project shall provide 7,956 square feet of PAOS for Phase 2 according to Sheets LP-0 thru LP-5 for Phase 2 of "Exhibit A" (in addition to the 8,436 square feet of PAOS provided for Phase 1):
  1. contiguous, remaining unfenced and ungated; therefore it shall not be enclosed or bordered by a fence of any type, size, or shape, including temporary fencing or a temporary gate(s); planter/garden walls enclosing planted areas shall not be more than 2 feet in height unless they are LID required planters;
  2. integrated into the overall design of the Project;
  3. integrated with neighboring buildings or structures and any existing, or approved, PAOS, if applicable;
  4. maintained in good condition;
  5. open to the public, at minimum, from 6:00 a.m. to 10:00 p.m., seven days a week. There shall be at least two signs stating the hours of operation of the PAOS, including in the focal point unobstructed from public view. PAOS identification signage shall indicate that the PAOS is available for use by the public from, at minimum, 6 a.m. to 10 p.m., seven days a week. Supporting documentation of signage and placement shall be submitted to the subject case file prior to final signoff and be kept with the file for this case. This identification signage shall not be counted against a Project's signage limitation.
  6. Ninety percent or 14,753 square feet (based on the Project's provided PAOS of 16,392 square feet) of the PAOS provided shall be open to the sky, excluding shade structures and other features or elements that are not calculated as floor area;
  7. containing a minimum of 50 percent of PAOS that is landscaped (8,196 square feet according to the provided PAOS of 16,392 square feet);
  8. containing a minimum of 33 seats in the PAOS that is a ratio of no less than one seat per 500 square feet of the provided PAOS. Seating shall include but not be limited to chairs, benches, and planters. Seating shall be permanent or moveable. For benches, two linear feet of bench or seat-wall shall equal one seat;

9. seating placed with consideration to noontime sun and shade;
10. including a focal point or gathering space that is a minimum of 500 square feet;
11. inclusive of a square foot ratio of 1:1 for the fire lane that runs north-south along the western property line of the Project that:
  - i. satisfies the requirements of LAMC for emergency vehicle access lanes;
  - ii. incorporates the use of grasscrete to the satisfaction of LAFD and as shown in "Exhibit A;"
  - iii. does not exceed 66 percent of the total PAOS provided;
  - iv. Incorporates a minimum 20 foot wide right of way path (on-site) as shown on Sheet A 0.4 for Phase 1 and Sheet A 0.4 for Phase 2 on "Exhibit A;"
  - v. Incorporates a minimum 10 foot wide pathway clear of obstructions that may include permeable surface treatments as shown on Sheet A 0.4 for Phase 1 and Sheet A 0.4 for Phase 2 on "Exhibit A;"
  - vi. Only non-motorized vehicles shall be permitted (except for emergency vehicle uses during an emergency).
12. inclusive of required setbacks along a public way;
13. **excludes** the following uses: surface parking areas, open storage areas, private open space areas not accessible to the general public, swimming pools and spas unless open to the general public, **loading docks and parking, driveway entrance/exit areas**, sidewalks and parkways in the public right-of-way as of the date of the adoption of the Plan, and detached utility areas/pads;
14. includes a mix of passive and active recreational facilities designed to serve residents, employees, and visitors to Warner Center. PAOS shall include amenities for all ages such as one or more tot lots, community gardens, or other physical activity facilities to integrate shared spaces designed for gathering year-round; and
15. prior to the issuance of any building permit, the applicant shall prepare and execute a Covenant and Agreement (Planning Department General Form CP-6770) in a manner satisfactory to the Planning Department binding the land for the Project and all successors. It shall include a detailed, dimensioned site plan and

landscape plan demonstrating the required and provided PAOS areas and a comprehensive summary table showing compliance with the regulations contained in the applicable PAOS conditions herein. It should include information regarding the ongoing maintenance and operation of the open space areas and on-going public access through easement, and include a note on the plan stating PAOS area(s) shall remain unfenced and ungated. A copy of the Covenant and Agreement shall be submitted to the case file prior to final signoff and kept with the file for this case.

- iii. At full buildout (completion of Phase 1 and Phase 2), the Project shall provide a total of 16,392 square feet of PAOS according to Sheets LP-0 thru LP-5 for Phase 1 and Phase 2 of "Exhibit A."
- a. **Landscaping.** Prior to building permit(s) signoff for each Project phase, final landscape plans, including automatic irrigation plans in conformance with the City's water conservation requirements shall be submitted for approval to the Department of City Planning. The landscape plan shall be prepared by a licensed landscape architect or licensed architect. These plans shall demonstrate:
  - i. WUCOLS classification for all plants;
  - ii. A minimum of 30% of the required setback areas landscaped;
  - iii. Trees planted at a ratio of every 30 linear feet in the setback area adjacent to the parking structures;
  - iv. For parking structures or that portion of the structure that are used for parking at the ground floor, shall be designed to include climbing vines planted on the façade of each parking level.
  - v. The use of shrubs, vines or similar landscaping shall be used to screen blank walls throughout the Project facade;
  - vi. All planted areas within a Project serviced by automatic irrigation systems and conforming to the City's water conservation requirements as prepared by a licensed landscape architect;
  - vii. Fronting the residential enclosed common areas (i.e., lobby, gymnasium, lounge, recreational room/media lounge), the landscaped setbacks shall include any or all of the following: walkways, porches, raised planters and other solid walls up to three (3) feet above sidewalk elevation, and transparent fences up to four (4) feet above sidewalk elevation;
  - viii. Use of a high-efficiency "smart" irrigation system, which includes a weather-based controller, and, where feasible, in-line drip and bubblers, rather than overhead spray. Where overhead spray is used, heads should have low-precipitation nozzles to reduce run-off;

- ix. Plants identified as California Friendly by the Metropolitan Water District's Be Water Wise program ([www.bewaterwise.com](http://www.bewaterwise.com)) for at least 50 % of the plant materials used. The landscape plan shall incorporate Southern California native plant species. Please refer to the Theodore Payne Foundation ([www.theodorepayne.org](http://www.theodorepayne.org)) to access their Native Plant Database;
  - x. 50% of the trees in the non-PAOS open space areas as canopy trees that provide shade. Native, drought tolerant, species with a low WUCOLS level are preferred. Bamboo and Palm tree varieties shall not be counted toward this requirement;
  - xi. Seating in plazas and courtyards independent of PAOS, indicating amount provided;
  - xii. That the Project treats 100% of the 85<sup>th</sup> percentile storm and provide detentions capacity to retain a rainfall intensity of 0.5 inches/hour or other Code requirement if the latter is more restrictive, to the satisfaction of the Bureau of Sanitation. On-site infiltration is the preferred method of treatment.
  - xiii. Additionally, the Project shall use permeable paving for at least 75 % of all hardscape areas to the extent allowed by other agencies, and in the PAOS areas plant deciduous trees as the most effective means of providing comfortable access to sun and shade.
  - xiv. The Project shall follow the minimum soil requirements to support growth of healthy plants as delineated in the Soil Depths Design Resource published by the Urban Design Studio for trees, shrubs, and perennials plus ground cover. Refer to [https://planning.lacity.org/odocument/96f7c2e9-834f-47cb-8da5-3033428574ea/Soil\\_Depths.pdf](https://planning.lacity.org/odocument/96f7c2e9-834f-47cb-8da5-3033428574ea/Soil_Depths.pdf).
- b. **Supplemental Urban Design Standards.** Prior to signoff, revised plans shall be provided as follows:
- i. **Parking Setbacks.** Surface parking shall not be located anywhere within the front setback area.
  - ii. **Architecture.** The ground floor for the Phase 1 building and Phase 2 building shall have a different architectural treatment than the upper floors, as shown on "Exhibit A."
  - iii. **Lighting and Security.** The applicant shall submit revised elevations that show all, and any exterior lighting as integrated with design of the structure(s), shielded to reduce glare for all sides of the building, and pointed away from the sky and windows of residential units. Additionally, the Project's security lighting should be integrated into the architectural and landscape lighting system and should not be distinguishable from it.
  - iv. **Utilities.** Prior to final building permit sign off for each Project phase, the Project shall submit plans that show utility lines within the public right-of-ways

placed underground, subject to the standards of the Department of Public Works, Bureau of Street Services. The Applicant shall also provide plans that provide on-site all infrastructure that is necessary for the future placement of underground utilities off-site, as approved by the Department of Building and Safety. **(B&S) (BOE)**

v. **Landscaping Requirements for Parking Facilities.**

a. **Any Portion of a Building Used for Parking.** Prior to final building permit signoff for each Project phase and in conformance with Warner Center 2035 Plan Section 6.2.6.2.7(2), the Applicant shall submit elevations and/or landscape plans for the applicable phase that is seeking signoff that show:

1. A minimum landscaped setback of five (5) feet shall be observed for all portions of a building used for parking at-grade or above-grade within the interior of a lot, and not located adjacent to an existing public street. This landscape setback is in addition to any other city department requirement for setbacks (i.e., Fire, Building & Safety, etc.) and shall be free of utilities such as water meters, gas meters and other required structure.
2. Portions of parking in buildings adjacent to a public street shall meet setback requirements for the Commerce District. Landscaping shall include a berm, hedge, or combination of the two, measuring at least 36 inches in height not including openings.
3. Plant trees in the setback area at a ratio of one (1) tree every 30 linear feet for the length of that portion of each building used for parking.
4. Any portion of a building utilized for parking shall be designed to minimize vehicle headlight and noise impacts on adjacent properties through the use of parapet walls, railings, planter boxes, and external landscaping.
5. Climbing vines shall be used to screen parking within buildings at the ground floor façade and any floors thereafter. This shall apply to rooftop parking as well.

vi. **Street Trees.** Any proposed street tree removal shall be subject shall be satisfactory to the City Engineer and Urban Forestry Division of the Bureau of Street Services. As necessary, the Project shall install tree wells with root barriers and plant street trees satisfactory to the City Engineer and the Urban Forestry Division of the Bureau of Street Services.

Pursuant to the Specific Plan Section 6.2.6.2.8 and Appendix F, Section 3, Guideline A.7, new street trees shall be of the species indicated on Figure 5 in the Specific Plan, which are *Koelreuteria Bipinnata* (Chinese Flame) and/or *Pinus Canariensis* (Canary Island Pine), satisfactory to the Bureau of Street Services, Urban Forestry Division. **(BSS/DCP)**

- c. **LEED Silver.** Prior to Planning clearance, the Project shall submit proof that the Project is designed to meet the equivalent green standards of LEED (Leadership in Energy and Environmental Design) at the Silver Level, in addition to the City's Green Building and any other applicable regulations relating to sustainability standards. (Note: The Project is subject to the most current version of LEED at the time of the Planning clearance on the building permit).
- d. **Green Building Ordinance.** Prior to Planning clearance, the Project will submit evidence that it complies with the City's Green Building Ordinance No. 182,849. **(B&S/DCP)**
- e. **Solar Reflectance Index (SRI).** Prior to Planning clearance, an updated roof plan shall be submitted showing the slope of the roof as having a maximum slope of 2:12 and illustrating the percentage of the roof with an SRI equal to or greater than 78 for at least 75% of the roof area. **(B&S)**
- f. **On-Site Trees.** Prior to Planning clearance, an updated tree report of less than a year old shall be provided by a Landscape Architect or Certified Arborist showing trees to be removed with their Diameter at Breast Height (DBH), and plans shall be revised to show a replacement ratio of 2:1 for the replacement of existing on-site trees non-protected trees with a diameter of a minimum 4 inches at breast height that are proposed to be removed per in "Exhibit A."
- g. **Site Access and Internal Circulation.** Prior to the issuance of any building permit for the Project, a site plan shall be submitted to the DOT's Valley Development Review Section (6262 Van Nuys Boulevard, Suite 320, Van Nuys, CA) for review and approval of driveways, loading/unloading areas, parking, and internal circulation. **(DOT)**
- h. **Mobility Fee.** Per the 2021 Mobility Fee Ordinance update (Ord. No. 186,498), the final determination to pay the Project's Mobility Fee will be calculated at building permit issuance using the annually adjusted rates of the Appendix D Mobility Fee Table that are in effect for Projects deemed complete prior to 3/10/2020. The Project is entitled to a credit against the Mobility Fee for the previous use that existed on the site on January 1, 2008. The final Mobility Fee, including these credits, will be calculated after final square footage totals for the Project uses are determined through the Plan Check process by Building and Safety. **(B&S/DOT)**
- i. **Transportation Demand Management (TDM).** Prior to the issuance of any building, foundation, grading, demolition, change of use or use of land permit for the Project, the Applicant and/or property owner(s) shall provide a Transportation Demand Management Plan as required for a Multi-Phased Project, outlined in Section 5.3.3.2 of the WC 2035 Plan:
  - a. Submittal of a Final TDM Plan to the City: The Project applicant and/or the property owner(s) (including resident associations) of the lot where the Project is located shall submit to DOT an application for review and approval of a TDM plan. DOT shall review and approve or disprove a TDM

plan within 90 days after the date of submittal of a complete application. Any plan not approved or disapproved by the end of this 90-day period shall be deemed approved. A TDM plan shall include the minimum elements outlined in Section 7.8.1.1. (DOT). This condition shall be complied with prior to issuance of a building, grading or demolition permit.

## 7. Administrative Conditions

- a. **Notations on Plans.** Plans submitted to the Department of Building and Safety for the purpose of processing a building permit application shall include all of the Conditions of Approval herein attached as a cover sheet and shall include any modifications or notations required herein.
- b. **Approval, Verification and Submittals.** Copies of any approvals guarantees or verification of consultations, review of approval, plans, etc., as may be required by the subject conditions, shall be provided to the Department of City Planning prior to clearance of any building permits, for placement in the subject file.
- c. **Code Compliance.** Use, area, height, and yard regulations of the zone classification of the subject property shall be complied with, except where granted conditions differ herein.
- d. **Department of Building and Safety.** The granting of this determination by the Director of Planning does not in any way indicate full compliance with applicable provisions of the Los Angeles Municipal Code Chapter IX (Building Code). Any corrections and/or modifications to plans made subsequent to this determination by a Department of Building and Safety Plan Check Engineer that affect any part of the exterior design or appearance of the project as approved by the Director, and which are deemed necessary by the Department of Building and Safety for Building Code compliance, shall require a referral of the revised plans back to the Department of City Planning for additional review and sign-off prior to the issuance of any permit in connection with those plans.
- e. **Covenant and Agreement.** Prior to the issuance of any permits relative to this matter, a covenant acknowledging and agreeing to comply with all the terms and conditions established herein shall be recorded in the County Recorder's Office. The agreement (standard master covenant and agreement form CP-6770) shall run with the land and shall be binding on any subsequent owners, heirs or assigns. The agreement with the conditions attached must be submitted to the Development Services Center for approval before being recorded. After recordation, a certified copy bearing the Recorder's number and date shall be provided for attachment to the subject case file.
- f. **Enforcement.** Compliance with these conditions and the intent of these conditions shall be to the satisfaction of the Department of City Planning.
- g. **Indemnification and Reimbursement of Litigation Costs.** Applicant shall do all of the following:

- (i) Defend, indemnify and hold harmless the City from any and all actions against the City relating to or arising out of the City's processing and approval of this entitlement, including but not limited to, an action to attack, challenge, set aside, void, or otherwise modify or annul the approval of the entitlement, the environmental review of the entitlement, or the approval of subsequent permit decisions, or to claim personal property damage, including from inverse condemnation or any other constitutional claim.
- (ii) Reimburse the City for any and all costs incurred in defense of an action related to or arising out of the City's processing and approval of the entitlement, including but not limited to payment of all court costs and attorney's fees, costs of any judgments or awards against the City (including an award of attorney's fees), damages, and/or settlement costs.
- (iii) Submit an initial deposit for the City's litigation costs to the City within 10 days' notice of the City tendering defense to the Applicant and requesting a deposit. The initial deposit shall be in an amount set by the City Attorney's Office, in its sole discretion, based on the nature and scope of action, but in no event shall the initial deposit be less than \$50,000. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).
- (iv) Submit supplemental deposits upon notice by the City. Supplemental deposits may be required in an increased amount from the initial deposit if found necessary by the City to protect the City's interests. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).
- (v) If the City determines it necessary to protect the City's interest, execute an indemnity and reimbursement agreement with the City under terms consistent with the requirements of this condition.

The City shall notify the applicant within a reasonable period of time of its receipt of any action and the City shall cooperate in the defense. If the City fails to notify the applicant of any claim, action, or proceeding in a reasonable time, or if the City fails to reasonably cooperate in the defense, the applicant shall not thereafter be responsible to defend, indemnify or hold harmless the City.

The City shall have the sole right to choose its counsel, including the City Attorney's office or outside counsel. At its sole discretion, the City may participate at its own expense in the defense of any action, but such participation shall not relieve the applicant of any obligation imposed by this condition. In the event the Applicant fails to comply with this condition, in whole or in part, the City may withdraw its defense of the action, void its approval of the entitlement, or take any other action. The City retains the right to make all decisions with respect to its representations in any legal proceeding, including its inherent right to abandon or settle litigation.

For purposes of this condition, the following definitions apply:

“City” shall be defined to include the City, its agents, officers, boards, commissions, committees, employees, and volunteers.

“Action” shall be defined to include suits, proceedings (including those held under alternative dispute resolution procedures), claims, or lawsuits. Actions includes actions, as defined herein, alleging failure to comply with any federal, state or local law.

Nothing in the definitions included in this paragraph are intended to limit the rights of the City or the obligations of the Applicant otherwise created by this condition.

## BACKGROUND

### Subject Property

The Project site is located in the Canoga Park – Winnetka – Woodland Hills – West Hills Community Plan area and, it is governed by the Commerce District and applicable regulations of the Warner Center 2035 Specific Plan. The subject site comprises one rectangular lot with 98,013 square feet of net lot area.

The Subject site is currently developed with a 35,722 square foot two-story commercial office building and surface parking, built in the 1970's.

### Surrounding Properties

The properties immediately surrounding the Project site are characterized by multifamily residential, commercial, and light industrial uses and, are in the Warner Center 2035 Specific Plan. North of the Project site, across Oxnard Street, the adjacent property is improved with a six-story apartment complex consisting of 397 dwelling units. Abutting property to the east is developed with a one-story industrial/light manufacturing building and surface parking that is currently occupied by offices.

Abutting properties to the east and south of the Project site are improved with two large business parks consisting of a one-story and two six-story office buildings with surface parking.

### Project Description

The proposed project involves a Project Permit Compliance Review for the demolition of 35,722 square foot two-story commercial office building and surface parking, and the construction of a 296,487 square foot Multiple-Phased, 100 percent all-affordable housing development consisting of 301 residential units over two buildings. The Project will provide 16,392 square feet of Publicly Accessible Open Space (PAOS).

Phase 1 encompasses a new seven-story, approximately 83 foot high multifamily residential building with 173 units and associated residential amenities. Thirty-four units or 20 percent of the units will be set aside for Moderate Income Household occupancy and 137 or 80 percent of the units will be set aside for Low Income Household occupancy, two designated as managers' units.

Phase 1 will provide 167,487 square feet of Residential Floor Area. Parking will be housed over two levels, one at-grade and one above-grade consisting of 159 parking spaces, and 12 short-term and 156 long-term bicycle parking spaces.

Phase 2 consists of a new eight-story, 91 foot high multifamily residential building with 128 units and associated residential amenities. Twenty-five or 20 percent of the units will be set aside for Moderate Income Households occupancy and 101 or 80 percent of the units will be set aside for Low Income Household occupancy, two designated as managers' units.

Phase 2 will provide 129,000 square feet of Residential Floor Area. Parking will be provided over two levels of parking, one at-grade and one above-grade consisting of 70 parking spaces, and 14 short-term and 106 long-term bicycle parking spaces.

The Project includes 16,392 square feet of Publicly Accessible Open Space (PAOS), which includes a 6,719 square foot pedestrian paseo with lawn areas and seating along the western property line. No street trees in the public right-of-way are proposed for removal.

### *Ministerial Review*

Executive Directive 1 (ED-1) went into effect on December 16, 2022 to facilitate the expeditious processing of shelters and 100 percent affordable housing projects to address the homelessness crisis in the City of Los Angeles. A 100 percent affordable housing project is defined as “A project with at least 5 units that has at least two-thirds residential square footage, with all units affordable at 80 percent of Area Median Income (AMI) (HUD) levels, OR affordable at mixed income with up to 20 percent of units at 120 percent AMI (HCD rents) and the balance at 80 percent AMI or lower (HUD rents) as technically described here: A housing development project defined in Government Code Section 65589.5 that includes 100 percent restricted affordable units (excluding any manager’s units) for which rental or mortgage amounts are limited so as to be affordable to and occupied by Lower Income households 1, as defined by CA Health and Safety Code 50079.5, or that meets the definition of a 100 percent affordable housing development in CA Gov. Code 65925(b)(1)(G)2, as determined by the Los Angeles Housing Department (LAHD).” For 100 percent affordable housing projects and shelters, the review shall be complete within 60 days after the application is complete.

### *Housing Replacement (SB 8 Determination)*

Pursuant to LAMC Section 12.22.A 25, an eligible Housing Development shall be eligible for Density Bonus Incentives if it meets any applicable replacement requirements of California Government Code Section 65915(c)(3) (California State Density Bonus Law).

On October 9, 2019, the Governor signed into law the Housing Crisis Act of 2019 (SB 330). SB 330 creates a new state law regarding the production, preservation, and planning for housing, and establishes a statewide housing emergency until January 1, 2025. This was subsequently amended by SB 8 on September 16, 2021. During the duration of the statewide housing emergency, SB 330, among other things, create new housing replacement requirements for Housing Development Projects by prohibiting the approval of any proposed housing development project on a site that will require the demolition of existing residential dwelling units or occupied or vacant “Protected Units” unless the proposed housing development project replaces those units.

The subject property is currently developed with a commercial office building and has existed since the 1970’s. Therefore, the proposed housing development does not require the demolition of any prohibited types of housing. Further, the provision of SB 8 does not apply to vacant lots or commercial properties, therefore no SB 8 replacement affordable units are required.

### *Density Bonus Off-Menu Incentives and Waivers*

Pursuant to State Density Bonus Law, Government Codes Section 65915, which was modified under AB 1762 and AB 2345, 100 percent affordable housing developments that utilize the Density Bonus program pursuant to LAMC 12.22 A.25 and meet certain criteria as outlined

below, may receive up to four concessions or incentives pursuant to CA Government Code Section 65915(d)(2)(D):

- Income levels for all dwelling units, exclusive of a manager's unit or units, must be restricted for lower-income households (defined in Section 50079.5 of the Health and Safety Code), except that up to 20 percent of all units in the development may be restricted for Moderate Income Households (defined by Section 50053 of the Health and Safety Code). The 20 percent figure is based upon all proposed numbers of units in a development, including bonus units. Income limits for each project will be determined by LAHD (LAHD's Rent Schedule 6 or 7), and;
- Rents for at least 20 percent of the units must be set at an affordable rent, as defined in Section 50053 of the Health and Safety Code (see LAHD's Rent Schedule 6 or 7, depending on funding). The remainder of the units shall be set at rent levels consistent with the maximum rent level for a housing development that receives an allocation of state or federal low-income housing tax credits from the California Tax Credit Allocation Committee (TCAC). Rent limits for each project will be determined by LAHD.

LAMC Section 12.22 A.25 and State Density Bonus Law (Government Code Section 65915) outline types of relief that minimize restrictions on the size of the project. In exchange for meeting the minimum set-aside requirements, the project may receive a set of incentives and concessions, and waivers to deviate from development standards in order to facilitate the provisions of affordable housing at the site. The requested incentives and waivers allow the developer to expand the building envelope so the additional affordable units can be constructed, provide for design efficiencies, and allow the overall space dedicated to residential uses to be increased.

Given that the applicant is providing 100 percent of dwelling units, except for the manager's units, to be affordable at 20 percent Moderate Income Household occupancy (HCD/State) with the remaining units restricted for Low Income Household occupancy (HUD/TCAC) for a period of 55 years, the project is eligible for three incentives under AB 1763.

#### *Specific Plan Project Permit Compliance*

The proposed project is located in the Commerce District of the Warner Center 2035 Specific Plan. According to the Specific Plan regulations, any "Project", defined as "the construction, erection, addition to or structural alteration of any Building or Structure (including any new parking lot, parking garage, or parking structure), or use of Building or land or change of use of a building or land, on a lot located in whole or in part within the Plan area which requires the issuance of a grading permit, foundation permit, building permit or land use permit. Notwithstanding the foregoing, those exempt actions specified in Section 5.3.1 of this Plan are not considered a Project under this Plan" is subject to a Project Permit Compliance review pursuant to Section 5.3.3 of the Specific Plan and LAMC Section 11.5.7. However, in accordance with California Government Code Section 65913.4, a local government must streamline the approval of an all-affordable housing project based only on objective zoning and design review standards, and the locality's process and application requirements shall not in any way "inhibit, chill, or preclude" the ministerial approval process.

The proposed project seeks three deviations from the development standards and requirements of the Specific Plan by utilizing Off-Menu Incentives pursuant to State Density Bonus law; this is

expressly permitted by the provisions of AB 2345 and Section 65915(b)(1)(G) of the California Government Code. Nonetheless, with the exception of the identified Off-Menu Incentives, the Project is in compliance with all other objective standards contained in the Warner Center 2035 Specific Plan.

WC 2035 SP Section	WC 2035 SP Off-Menu Incentives	Required	Density Bonus Guidelines	Proposed
6.1.2.2.3	Minimum Percent of Non-Residential Floor Area	50 Percent	N/A (AB 2345)	0 Percent
6.1.2.2.4(a)	Floor to Floor Height	15 feet	N/A (AB 2345)	12 Feet
6.1.2.2.4(d)	Percent of Non-Residential Floor Area on Ground Floor	80 Percent	N/A (AB 2345)	12 Percent

Note: WC 2035 SP refers to the Warner Center 2035 Specific Plan

The record does not contain substantial evidence that would allow the decision maker to make a finding that the requested incentives do not result in identifiable and actual cost reduction to provide for affordable housing costs per State Law. The California Health & Safety Code Sections 50052.5 and 50053 define formulas for calculating affordable housing costs for Very Low, Low, and Moderate Income Households. Section 50052.5 addresses owner-occupied housing and Section 50053 addresses rental households. Affordable housing costs are a calculation of residential rent or ownership pricing not to exceed a predetermined percentage of income based on area median income thresholds dependent on affordability levels.

**CONCLUSION**

As a Density Bonus Housing Project that satisfies all the objective planning standards of LAMC Section 12.22 A.25(g)(3), California Government Code Section 65915 and is a 100 percent affordable housing project consistent with ED1 streamlined approval.

## **OBSERVANCE OF CONDITIONS - TIME LIMIT - LAPSE OF PRIVILEGES - TIME EXTENSION**

All terms and conditions of the Director's Letter of Compliance shall be fulfilled before the use may be established. The instant authorization is further conditioned upon the privileges being utilized within three years after the effective date of this determination and, if such privileges are not utilized, building permits are not issued, or substantial physical construction work is not begun within said time and carried on diligently so that building permits do not lapse, the authorization shall terminate and become void.

## **TRANSFERABILITY**

This determination runs with the land. In the event the property is to be sold, leased, rented or occupied by any person or corporation other than yourself, it is incumbent that you advise them regarding the conditions of this grant. If any portion of this approval is utilized, then all other conditions and requirements set forth herein become immediately operative and must be strictly observed.

## **VIOLATIONS OF THESE CONDITIONS, A MISDEMEANOR**

The Applicant's attention is called to the fact that this grant is not a permit or license and that any permits and licenses required by law must be obtained from the proper public agency. Furthermore, if any condition of this grant is violated or not complied with, then the Applicant or his successor in interest may be prosecuted for violating these conditions the same as for any violation of the requirements contained in the Municipal Code, or the approval may be revoked.

Section 11.00 of the LAMC states in part (m): "It shall be unlawful for any person to violate any provision or fail to comply with any of the requirements of this Code. Any person violating any of the provisions or failing to comply with any of the mandatory requirements of this Code shall be guilty of a misdemeanor unless that violation or failure is declared in that section to be an infraction. An infraction shall be tried and be punishable as provided in Section 19.6 of the Penal Code and the provisions of this section. Any violation of this Code that is designated as a misdemeanor may be charged by the City Attorney as either a misdemeanor or an infraction.

Every violation of this determination is punishable as a misdemeanor unless provision is otherwise made, and shall be punishable by a fine of not more than \$1,000 or by imprisonment in the County Jail for a period of not more than six months, or by both a fine and imprisonment."

Verification of condition compliance with building plans and/or building permit applications are done at the Development Services Center of the Department of City Planning at either Figueroa Plaza in Downtown Los Angeles or the Marvin Braude Building in the Valley. In order to assure that you receive service with a minimum amount of waiting, applicants are encouraged to schedule an appointment with the Development Services Center either through the Department of City Planning website at <http://planning.lacity.org> or by calling (213) 482-7052 or (818) 374-5050. The applicant is further advised to notify any consultant representing you of this requirement as well.

The time in which a party may seek judicial review of this determination is governed by California Code of Civil Procedures Section 1094.6. Under that provision, a petitioner may seek judicial review of any decision of the City pursuant to California Code of Civil Procedure Section 1094.5,

only if the petition for writ of mandate pursuant to that section is filed no later than the 90th day following the date on which the City's decision becomes final.

**Effective Date/Appeals:** The decision of this Letter of Compliance is final and effective upon the mailing of this letter and is not appealable.

VINCENT P. BERTONI, AICP  
Director of Planning

Approved by:

*Blake Lamb*

\_\_\_\_\_  
Blake Lamb, Principal Planner

Reviewed by:

\_\_\_\_\_  
Claudia Rodriguez, Senior City Planner

Prepared by:

*Sheila Toni*

\_\_\_\_\_  
Sheila Toni, City Planning Associate  
Sheila.Toni@LACity.Org

**ENTITLEMENT SHEET INDEX**

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A0.6	LEED CHECKLIST SHEET
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LP-0	TREE PROTECTION AND REPLACEMENT
LP-1	SCHEMATIC LANDSCAPE
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Refer to Condition No. 5 for updated affordability.

**EXHIBIT "A"**  
 Page No. 1 of 57  
 Case No. A0M-2023-6353

07-5YP-HCA-WC-EV1

OCT 30 2023

**PROJECT INFORMATION:**

**PROJECT ADDRESS**  
 21300 W OXNARD ST, WOODLAND HILLS, CA 91367

**ZONING INFORMATION**  
 ZONING: (WC)COMMERCE-SN  
 (WC)C/I-145/1.5

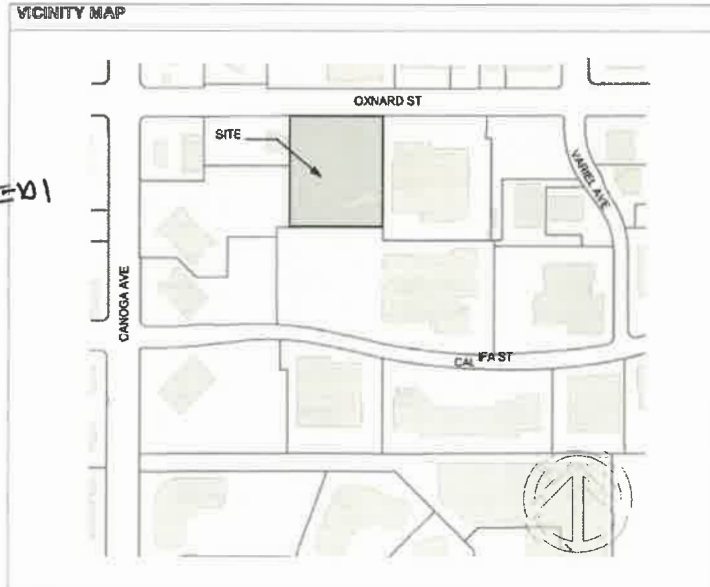
**LOT AREA**  
 LOT AREA: 2.311 ACRE (100,648 SF)  
 NET LOT AREA EXCLUDES EASEMENT: 2.264 ACRE (98,619 SF)  
 LOT AREA AFTER DEDICATION: 2.25 ACRE (98,013 SF)

**CONSTRUCTION/OCCUPANCY TYPE**  
 CONSTRUCTION TYPE: IIIA, IB  
 OCCUPANCY: R-1, S-2

**LEGAL DESCRIPTION**  
 PARCEL 1  
 PARCEL "B" OF PARCEL MAP L.A. NO. 3752, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP FILED IN BOOK 88, PAGES 76 TO 80 INCLUSIVE OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.  
 PARCEL 2  
 THE EASEMENTS FOR RECIPROCAL ACCESS, INGRESS AND PARKING OVER, ON AND ACROSS ALL DRIVEWAYS AND PARKING AREAS GRANTED UNDER THE TERMS AND PROVISION OF THAT CERTAIN PARKING RECIPROCAL EASEMENT AGREEMENT RECORDED NOVEMBER 15, 2002 AS INSTRUMENT NO.02-2766387, OF OFFICIAL RECORDS.  
 A.P.N: 2149-002-032

**PROJECT DESCRIPTION**  
 PHASE 1 OF THE PROJECT INCLUDES A 7 STORY AT ±82'-4 1/2" OVERALL HEIGHT, 173 AFFORDABLE DWELLING UNITS, WOOD FRAME, RESIDENTIAL BUILDING OVER A 2 LEVEL CONCRETE PARKING STRUCTURE (UP TO 159 PARKING STALLS), FIRST FLOOR OF THE BUILDING INCLUDES RESIDENTIAL AMENITIES AND PARKING.  
 PHASE 2 OF THE A 8 STORY @ ±91'-0", 128 AFFORDABLE DWELLING UNITS, WOOD FRAME, RESIDENTIAL BUILDING OVER A 2 LEVEL CONCRETE PARKING STRUCTURE (UP TO 70 PARKING STALLS).

**PROJECT AFFORDABLE UNITS**  
 PHASE 1 CONSISTS OF 171 RESTRICTED UNITS AND TWO UNRESTRICTED MANAGER'S UNITS. PHASE 1 WILL ALLOCATE 10% (18) OF TOTAL RESTRICTED UNITS FOR VERY LOW INCOME HOUSEHOLDS UNDER HCD SCHEDULE VI. THE REMAINING RESTRICTED UNITS WILL BE RESTRICTED FOR MODERATE HOUSEHOLDS UNDER HUD SCHEDULE I.  
 PHASE 2 CONSISTS OF 126 RESTRICTED UNITS AND TWO UNRESTRICTED MANAGER'S UNITS. PHASE 2 WILL ALLOCATE 4% (5) OF TOTAL RESTRICTED UNITS FOR VERY LOW INCOME HOUSEHOLDS UNDER HCD SCHEDULE VI. THE REMAINING RESTRICTED UNITS WILL BE RESTRICTED FOR MODERATE HOUSEHOLDS UNDER HUD SCHEDULE I.



**1. SITE DATA:**

PROJECT SUMMARY	
PHASE 1	7-STORY RESIDENTIAL BUILDING OVERALL BUILDING HEIGHT ±82'-4 1/2" TO TOP OF STAIR PENTHOUSE ±88'-1 1/2"
PHASE 2	8-STORY RESIDENTIAL BUILDING OVERALL BUILDING HEIGHT ±91'-0" TO TOP OF STAIR PENTHOUSE ±97'-0"

**2. FAR CALCULATION**

PHASE 1 (RESIDENTIAL 173 UNITS)*	
LEVEL 1	5,346
LEVEL 2	6,081
LEVEL 3	31,010
LEVEL 4	31,346
LEVEL 5	31,349
LEVEL 6	31,011
LEVEL 7	31,346
TOTAL	167,487
PHASE 2 (RESIDENTIAL 128 UNITS)*	
LEVEL 1	2,505
LEVEL 2	9,095
LEVEL 3	19,567
LEVEL 4	19,567
LEVEL 5	19,567
LEVEL 6	19,567
LEVEL 7	19,567
LEVEL 8	19,567
TOTAL	129,000

\* PLANNING INCENTIVE FOR ALL RESIDENTIAL FAR

**FAR TOTAL BUILDOUT**

SITE AREA	100,623
SITE AREA (AFTER DEDICATION)	98,013
TOTAL RESIDENTIAL FLOOR AREA	296,487
FAR	3.02

**3. P.A.O.S**

PAOS REQUIRED - 15% SITE AREA	
PHASE 1+PHASE 2	14,702
PAOS PROVIDED	
PHASE 1	8,436
PHASE 2	7,956
PHASE 1 + PHASE 2	16,392

**4. PRIVATE & COMMON OPEN SPACE**

OPEN SPACE REQUIRED			
PHASE 1			
UNIT TYPE	UNIT COUNT	REQUIRED PER UNIT	REQUIRED OPEN SPACE
STUDIO	40	100	4,000
1 BEDROOM	41	100	4,100
2 BEDROOM	46	125	5,750
3 BEDROOM	46	175	8,050
PHASE 1 REQUIRED			21,900
PHASE 2			
STUDIO	15	100	1,500
1 BEDROOM	34	100	3,400
2 BEDROOM	47	125	5,875
3 BEDROOM	32	175	5,600
PHASE 2 REQUIRED			16,375
TOTAL REQUIRED (PHASE 1 & PHASE 2)			38,275
OPEN SPACE PROVIDED			
PHASE 1			
L1 PAOS			8,436
L1 RESIDENTIAL OPEN SPACE			8,650
L3 COURTYARD			6,719
L1 AMENITY			2,277
PHASE 1 TOTAL			26,082
PHASE 2			
L1 PAOS			7,956
L3 COURTYARD			3,060
L3 AMENITY			1,290
PHASE 2 TOTAL			12,306
TOTAL PROVIDED (PHASE 1 & 2)			38,388

**5. SETBACK**

SETBACK REQUIRED	
FRONT (OXNARD ST.)	MIN. 12'-0" TO MAX. 20'-0" (30% TO BE LANDSCAPED)
BACK	NOT REQUIRED
SIDE	NOT REQUIRED
SETBACK PROVIDED	
FRONT (OXNARD ST.)	12'-0"
BACK	12'-0"
SIDE	11'-6" EAST 14'-6" WEST

**6. PARKING REQUIREMENT**

PHASE 1 REQUIRED	
UNIT COUNT	173
1 PER UNIT	173
PHASE 2 REQUIRED	
UNIT COUNT	128
1 PER UNIT	128
TOTAL PARKING REQUIRED (PHASE 1&2)	301
PHASE 1 PROVIDED	
PHASE 2 PROVIDED	159
TOTAL PARKING PROVIDED (PHASE 1&2)	229
24% PARKING REPLACED BY BIKE (MAX. 30%)	72

**BIKE PARKING**

PHASE 1 REQUIRED	
LONG TERM	25(1-25 UNITS/1) 50(26-100 UNITS/1.5) 73(101-173 UNITS/2)
SHORT TERM	3(1-25 UNITS/1) 5(26-100 UNITS/1.5) 4(101-173 UNITS/2)
PHASE 2 REQUIRED	
LONG TERM	25(1-25 UNITS/1) 50(26-100 UNITS/1.5) 73(101-128 UNITS/2)
SHORT TERM	3(1-25 UNITS/1) 5(26-100 UNITS/1.5) 4(101-128 UNITS/2)

**PHASE 1 PROVIDED**

LONG TERM	156
SHORT TERM	12

**PHASE 2 PROVIDED**

LONG TERM	106
SHORT TERM	14

**TOTAL BIKE PARKING PROVIDED (PHASE 1&2)**

LONG TERM	262
SHORT TERM	26
TOTAL PROVIDED	288

**7. UNIT SUMMARY**

PHASE 1						
LEVEL	STUDIO	1BR	2BR	3BR	TOTAL	
LEVEL 1	0	0	0	0	0	
LEVEL 2	1	1	1	1	4	
LEVEL 3	7	8	9	9	33	
LEVEL 4	8	8	9	9	34	
LEVEL 5	8	8	9	9	34	
LEVEL 6	8	8	9	9	34	
LEVEL 7	8	8	9	9	34	
TOTAL	40	41	46	46	173	
PERCENTAGE	23%	24%	27%	27%	100%	

**PHASE 2**

LEVEL	STUDIO	1BR	2BR	3BR	TOTAL	
LEVEL 1	0	0	0	0	0	
LEVEL 2	3	3	0	2	8	
LEVEL 3	2	6	7	5	20	
LEVEL 4	2	5	8	5	20	
LEVEL 5	2	5	8	5	20	
LEVEL 6	2	5	8	5	20	
LEVEL 7	2	5	8	5	20	
LEVEL 8	2	5	8	5	20	
TOTAL	15	34	47	32	128	
PERCENTAGE	12%	27%	37%	25%	100%	

**TOTAL UNIT MIX (PHASE 1+PHASE 2)**

TOTAL	STUDIO	1BR	2BR	3BR	TOTAL
TOTAL	55	75	93	78	301
PERCENTAGE	18%	25%	31%	26%	100%



444 S FLOWER STREET SUITE 1200  
 LOS ANGELES CA 90071 T 213 483 1900



project number 2207036  
 project director  
 project designer  
 project architect

**21300 OXNARD ST. WARNER CENTER**  
 META DEVELOPMENT, LLC  
 11150 West Olympic Blvd.  
 Suite 620  
 Los Angeles, CA 90064

**PROJECT SUMMARY**

**A0.1**

plot date 10/3/2023 10:33:48 AM

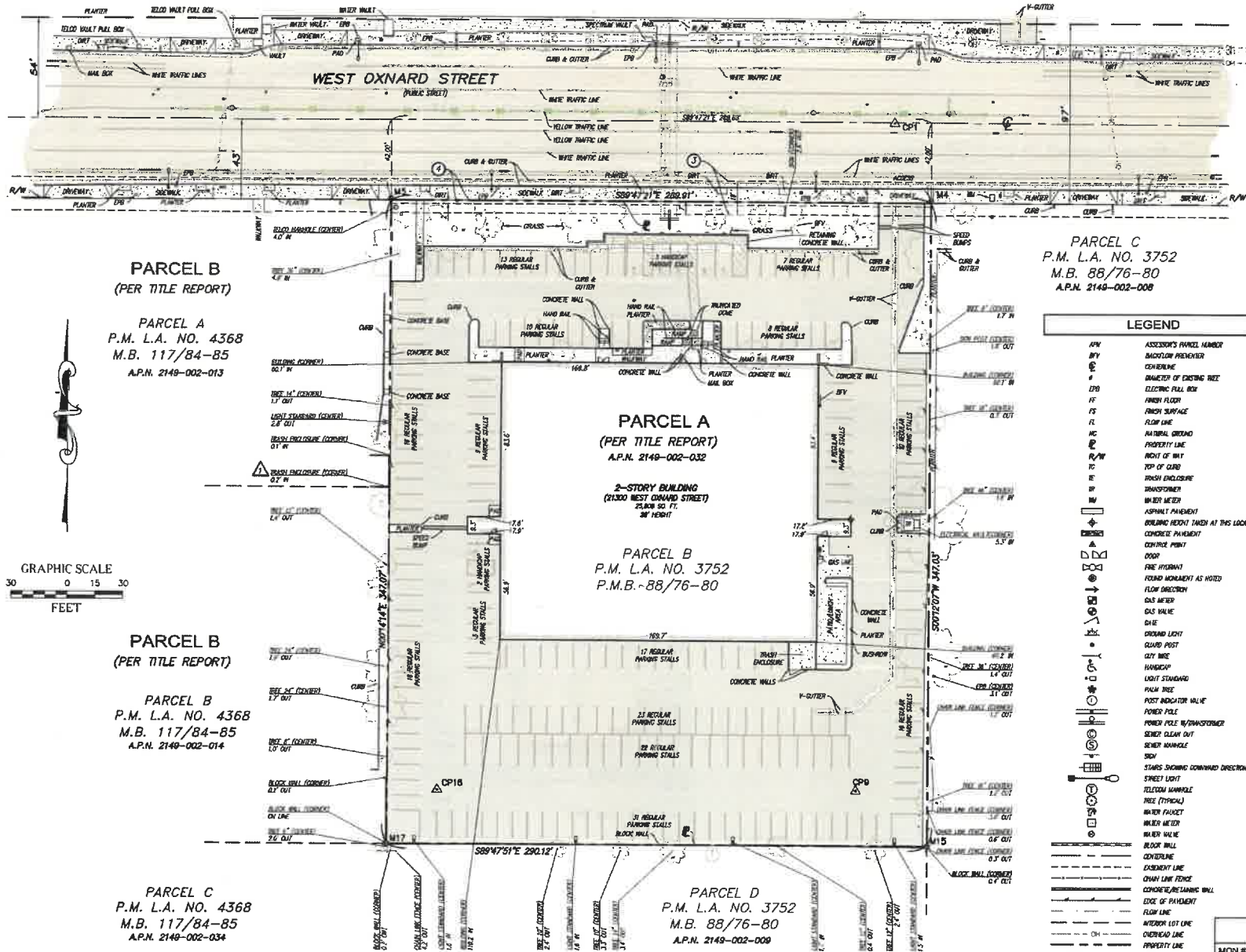
**21300 OXNARD ST**  
**WOODLAND HILLS, CALIFORNIA**



10 | 03 | 2023  
**ENTITLEMENT SET**

# A.L.T.A./N.S.P.S. LAND TITLE SURVEY

## 21300 WEST OXNARD ST, WOODLAND HILLS, CA 91367



### LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELONGS TO THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP FILED IN BOOK 88, PAGES 76 TO 80 IN WELLSVILLE OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PARCEL 1: PARCEL 17 OF PARCEL MAP L.A. NO. 20721, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP FILED IN BOOK 88, PAGES 76 TO 80 IN WELLSVILLE OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

PARCEL 2: THE EASEMENTS FOR RECREATIONAL ACCESS, INTERESTS AND PARKING OVER, ON AND ABOVE ALL DRIVEWAYS AND PARKING AREAS GRANTED UNDER THE TERMS AND PROVISIONS OF THAT CERTAIN PARKING EASEMENT AGREEMENT RECORDED NOVEMBER 15, 2000 AS INSTRUMENT NO. 00-230627, OF PUBLIC RECORDS.

### SCHEDULE B ITEMS

BASED UPON TITLE REPORT NO. 000-2008149-124, DATED OCTOBER 24, 2022 AS PREPARED BY REALITY NATIONAL TITLE COMPANY.

- PROPERTY TAXES.
- THE LIEN OF SUPPLEMENTAL OR ESCAPED ASSESSMENTS OF PROPERTY TAXES.
- WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT DISCLOSED BY THE PUBLIC RECORDS.
- EASEMENTS AND RIGHTS OF WAY FOR ROAD AND PUBLIC UTILITIES, AND APPURTENANCES THEREOF, AS RECORDED AND CONVEYED BY VARIOUS DEEDS OF RECORD, AFFECTS EASEMENT PARCELS.
- EASEMENT FOR UNDERGROUND TELEPHONE, TELEGRAPH AND COMMUNICATION STRUCTURES AND RECEIVING PURPOSES, AS GRANTED BY A DOCUMENT RECORDED OCTOBER 4, 1960 AS INST. NO. 3005, O.R. (NOT A SURVEY MATTER).
- EASEMENT FOR STREET TRUCK STOPPING AND INCIDENTAL PURPOSES, AS DELINEATED ON OR AS OFFERED FOR DEDICATION ON MAP/PLAT P.A.L. NO. 3752, B.C. 88, PG. 78 THROUGH 80, INCORPORATED BY REFERENCE HEREIN.
- CONVEYANCES, CONDITIONS AND RESTRICTIONS RECORDED AUGUST 24, 1973 AS INST. NO. 3665, O.R. MODIFICATION OF SAID CONVEYANCES, CONDITIONS AND RESTRICTIONS RECORDED JUNE 28, 1974 AS INST. NO. 3665, O.R. MODIFICATION OF SAID CONVEYANCES, CONDITIONS AND RESTRICTIONS RECORDED JUNE 28, 1974 AS INST. NO. 3665, O.R. MODIFICATION OF SAID CONVEYANCES, CONDITIONS AND RESTRICTIONS RECORDED FEBRUARY 11, 1977 AS INST. NO. 77-152641, O.R. (NOT A SURVEY MATTER).
- CONVEYANCES, CONDITIONS AND RESTRICTIONS RECORDED DECEMBER 30, 1977 AS INST. NO. 77-144442, O.R. (NOT A SURVEY MATTER).
- AN INSTRUMENT ENTITLED "CONVEYANCE AND AGREEMENT REGARDING POST PLAN" RECORDED SEPTEMBER 14, 1978 AS INST. NO. 78-102806, O.R. (NOT A SURVEY MATTER).
- AN INSTRUMENT ENTITLED "CONVEYANCE AND AGREEMENT REGARDING MAINTENANCE OF BUILDING" RECORDED JUNE 24, 1981 AS INST. NO. 81-424841, O.R. AND RECORDED DATE JULY 7, 1981 AS INST. NO. 81-427044, O.R. AND RECORDED JULY 7, 1981 AS INST. NO. 81-427044, O.R. (NOT A SURVEY MATTER).
- RECORDS, EASEMENTS FOR THE PURPOSES AS THEREIN PROVIDED IN THE DOCUMENT ENTITLED "RECORDS OF EASEMENTS AGREEMENT" RECORDED DECEMBER 30, 1983 AS INST. NO. 83-254847, O.R. (DOES NOT AFFECT HEREIN).
- MATTERS CONTAINED IN THAT CERTAIN DOCUMENT ENTITLED "DECLARATION OF CONVEYANCES AND AGREEMENTS REGARDING REVEAL SPECIFIC PLAN" RECORDED OCTOBER 21, 1984 AS INST. NO. 84-167004, O.R. (NOT A SURVEY MATTER).
- AN IRREVOCABLE OFFER TO DEDICATE AN EASEMENT OVER A PORTION OF SAID LAND FOR PUBLIC HIGHWAY PURPOSES, RECORDED MAY 8, 1985 AS INST. NO. 85-220212, O.R. (DOES NOT AFFECT).
- MATTERS CONTAINED IN THAT CERTAIN DOCUMENT RECORDED MAY 8, 1985 AS INST. NO. 85-220212, O.R. (DOES NOT AFFECT).
- MATTERS SET FORTH IN THE DOCUMENT ENTITLED "DECLARATION OF CONVEYANCES, CONDITIONS AND RESTRICTIONS AND GRANTS OF CERTAIN PARKING EASEMENTS" RECORDED NOVEMBER 15, 2000 AS INST. NO. 00-230627, O.R. MODIFICATION OF SAID CONVEYANCES, CONDITIONS AND RESTRICTIONS RECORDED JUNE 8, 2002 AS INST. NO. 02-230627, O.R. MODIFICATION OF SAID CONVEYANCES, CONDITIONS AND RESTRICTIONS RECORDED MARCH 13, 2019 AS INST. NO. 2019011121, O.R. (PLAINTIFF IN MATTER).
- AN INSTRUMENT ENTITLED "CONVEYANCE AND AGREEMENT TRANSPORTATION DEMAND MANAGEMENT AND TRAFFIC MANAGEMENT PLAN" RECORDED JANUARY 8, 2004 AS INST. NO. 03-20040004, O.R. (NOT A SURVEY MATTER).
- CONVEYANCES, CONDITIONS IN BOUNDARY LINES, SHORTAGE IN AREA, ENCROACHMENTS OR ANY OTHER MATTERS SHOWN ON RECORD OF SURVEY MAP NO. 22126, B.C. 84, PG. 22 TO 24, WHICH ARE RECORDED IN PUBLIC RECORDS, RECORDED FEBRUARY 06, 2019 AS INST. NO. 2019012760, O.R. (NOT A SURVEY MATTER).
- A NEED OF TRUST TO SECURE AN INTERESTS RECORDED JULY 7, 2020 AS INST. NO. 2020073916, O.R. (NOT A SURVEY MATTER).
- AN ASSIGNMENT OF ALL THE MONIES DUE, OR TO BECOME DUE AS RENTAL AS ADDITIONAL SECURITY FOR THE OBLIGATIONS SECURED BY DEED OF TRUST SHOWING ITEM 16, RECORDED JULY 7, 2020 AS INST. NO. 2020073916, O.R. (NOT A SURVEY MATTER).
- MATTERS CONTAINED IN THAT CERTAIN DOCUMENT ENTITLED "VARIABLE SUBSTANCES CERTIFICATE AND AGREEMENT" RECORDED JULY 7, 2020 AS INST. NO. 2020073916, O.R. (NOT A SURVEY MATTER).
- AN UNRECORDED LEASE ENTITLED "SUBORDINATION, NONDISTURBANCE AND ATTORNEY AGREEMENT" RECORDED JULY 7, 2020 AS INST. NO. 2020073916, O.R. AN AGREEMENT RECORDED JULY 7, 2020 AS INST. NO. 2020073916, O.R. WHICH STATES THAT SAID LEASE HAS BEEN MADE SUBORDINATE TO THE DOCUMENT ENTITLED "DEED OF TRUST" RECORDED JULY 7, 2020 AS INST. NO. 2020073916, O.R. (NOT A SURVEY MATTER).
- AN UNRECORDED LEASE ENTITLED "SUBORDINATION, NONDISTURBANCE AND ATTORNEY AGREEMENT" RECORDED JULY 7, 2020 AS INST. NO. 2020073916, O.R. AN AGREEMENT RECORDED JULY 7, 2020 AS INST. NO. 2020073916, O.R. WHICH STATES THAT SAID LEASE HAS BEEN MADE SUBORDINATE TO THE DOCUMENT ENTITLED "DEED OF TRUST" RECORDED JULY 7, 2020 AS INST. NO. 2020073916, O.R. (NOT A SURVEY MATTER).

### VICINITY MAP



### SCHEDULE B ITEMS (CONT.)

- AN UNRECORDED LEASE ENTITLED "SUBORDINATION, NONDISTURBANCE AND ATTORNEY AGREEMENT" RECORDED JULY 7, 2020 AS INST. NO. 2020073916, O.R. AN AGREEMENT RECORDED JULY 7, 2020 AS INST. NO. 2020073916, O.R. WHICH STATES THAT SAID LEASE HAS BEEN MADE SUBORDINATE TO THE DOCUMENT ENTITLED "DEED OF TRUST" RECORDED JULY 7, 2020 AS INST. NO. 2020073916, O.R. (NOT A SURVEY MATTER).
- AN UNRECORDED LEASE ENTITLED "SUBORDINATION, NONDISTURBANCE AND ATTORNEY AGREEMENT" RECORDED JULY 7, 2020 AS INST. NO. 2020073916, O.R. AN AGREEMENT RECORDED JULY 7, 2020 AS INST. NO. 2020073916, O.R. WHICH STATES THAT SAID LEASE HAS BEEN MADE SUBORDINATE TO THE DOCUMENT ENTITLED "DEED OF TRUST" RECORDED JULY 7, 2020 AS INST. NO. 2020073916, O.R. (NOT A SURVEY MATTER).
- A FINANCING STATEMENT RECORDED JULY 13, 2020 AS INST. NO. 2020073916, O.R. (NOT A SURVEY MATTER).
- ANY EASEMENTS NOT DISCLOSED BY THE PUBLIC RECORDS AS TO MATTERS AFFECTING TITLE TO REAL PROPERTY, WHETHER OR NOT SAID EASEMENTS ARE VISIBLE AND APPARENT.
- MATTERS WHICH MAY BE DISCLOSED BY AN INSPECTION AND/OR BY A CORRECT ALTA/MPS LAND TITLE SURVEY OF SAID LAND THAT IS SATISFACTORY TO THE COMPANY, AND/OR BY INQUIRY OF THE PARTIES TO THIS INSTRUMENT.
- ANY RIGHTS OF THE PARTIES IN POSSESSION OF A PORTION OF, OR ALL OF, SAID LAND, WHICH RIGHTS ARE NOT DISCLOSED BY THE PUBLIC RECORDS, THE COMPANY WILL REQUIRE, FOR REVIEW, A FINAL AND COMPLETE COPY OF ANY UNRECORDED AGREEMENT, CONTRACT, LICENSE AND/OR LEASE, TOGETHER WITH ALL SUPPLEMENTS, ASSIGNMENTS AND AMENDMENTS THERETO, BEFORE ISSUING ANY PORTION OF TITLE INSURANCE WITHOUT ESCROWING THIS ITEM FROM COVERING. THE COMPANY RESERVES THE RIGHT TO EXERCISE ADDITIONAL RIGHTS AND/OR MAKE ADDITIONAL RECOMMENDATIONS AFTER REVIEWING SAID DOCUMENTS.

### POSSIBLE ENCROACHMENT NOTES

THIS IS A LISTING OF OBSERVED ENCROACHMENTS THAT CROSS PROPERTY LINES. STATEMENT OF OWNERSHIP OR POSSESSION IS NOT THE INTENT OF THIS LISTING.

TRASH ENCLOSURE WALL OVERLAPS INTO THE WESTERLY PROPERTY LINE.

### ITEMS CORRESPONDING TO TABLE A ITEMS

- ITEM 16: THE NEAREST INTERSECTING STREET TO THE PROPERTY IS VAREL AVENUE AND IT IS 4600 FEET.
- ITEM 18: NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELD WORK.
- ITEM 19: NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELD WORK.

### SURVEYOR'S NOTES

- THE UTILITIES SHOWN HEREIN ARE BASED ON OBSERVED EVIDENCE ONLY. THIS SURVEY WOULD NOT SHOW UTILITIES COVERED BY CEAS/TRANS OR RECENTLY PLACED ASPHALT/CONCRETE OR OVERGROUND BRUSH, TREES AND SHRUBS.
- UNLESS THIS PLAN HAS THE SEAL AND SIGNATURE OF THE SURVEYOR AND/OR ENGINEER RESPONSIBLE FOR ITS PREPARATION, THIS IS NOT AN AUTHENTIC COPY OF THE ORIGINAL SURVEY AND SHALL NOT BE DETAINED RELIABLE.

### SURVEYOR'S CERTIFICATE

TO WARNER L&L, A CALIFORNIA LIMITED LIABILITY COMPANY, AS TO AN UNRECORDED TELEPHONE INTEREST AND JOSEPH COLEMAN AND ROYANNE DELBACH, TRUSTEES OF THE JO FAMILY TRUST, AS TO AN UNRECORDED TELEPHONE INTEREST AS TENANTS IN COMMON, REALITY NATIONAL TITLE COMPANY.

THIS IS TO CERTIFY THAT THIS MAP OR PLAN, AND THE SURVEY ON WHICH IT IS BASED, HAVE BEEN MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/MPS LAND TITLE SURVEYS, FULLY ESTABLISHED AND ADOPTED BY ALTA AND HELD, AND INCLUDED ITEMS 2, 3, 4, 5, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17 OF TABLE A HEREOF. THE FIELD WORK WAS COMPLETED ON DECEMBER 07, 2022.

DATE OF PLAN OR MAP: DECEMBER 30, 2022

### LEGEND



### MONUMENT NOTES

MON#	DESCRIPTION
M4	FD. LEAD TACK & TAG STAMPED "RCE 8758" PER R.S. 304/22-23
M5	FD. LEAD TACK & TAG STAMPED "PLS 8167" PER R.S. 304/22-23
M15	FD. 2" IRON PIPE STAMPED "RCE 8758" PER R.S. 304/22-23
M17	FD. 1" IRON PIPE WITH PLASTIC PLUG BROKEN STAMPED "L.S. 7262" PER R.S. 304/22-23

### SITE INFORMATION

SITE ADDRESS: 21300 WEST OXNARD ST, CA 91367

PROPERTY AREA: 60262 AREA: 2.31 AC. OR 161848 SQ. FT. NET AREA: 3284 SQ. FT. OR 0.075 AC. TOTAL GROUND FLOOR AREA OF BUILDING: 25,808 SQ. FT.

PARKING COUNT: 314 REGULAR PARKING STALLS 7 HANDICAP PARKING STALLS 231 TOTAL PARKING STALLS

ASSESSOR'S PARCEL NO.: 2149-002-008

### SURVEYOR OF RECORD

FIELD COMPLETION DATE: DECEMBER 07, 2022

**CALVADA SURVEYING, INC.**

4111 Jenkita Circle, Suite 205, Corona, CA 92678  
Phone: 951-250-0960 Fax: 951-250-0746  
Toll Free: 800-CALVADA www.calvada.com

EST. 1988 JOB NO. 22922

Armando D. Huilcut  
Registration No. 7780

SHEET 1 OF 6

REVISIONS		UTILITY STATEMENT	
NO.	DATE	REVISIONS	BY
0	12/20/22	SUBMITTAL	GV

UNDERGROUND SERVICE ALERT

CALL TOLL FREE 1-800-227-2600

TWO WORKING DAYS BEFORE YOU DIG

PREPARED FOR: UNITED CIVIL

30414 AQUINA RD., SUITE 215  
WOODLAND HILLS, CA 91367  
PHONE: (818) 701-8648 #11

BASIS OF BEARINGS: THE BEARINGS SHOWN HEREON ARE BASED UPON THE CALIFORNIA COORDINATE SYSTEM OF 1983, COGNAL ZONE 3 (2022.5) IN ACCORDANCE TO THE CALIFORNIA PUBLIC RESOURCES CODE SECTION 80000. SAID BEARINGS ARE DETERMINED LOCALLY UPON FIELD-OBSERVED TIES TO THE FOLLOWING LOCAL SHARRET NORTH AMERICA (SNA) CONTINUOUSLY OPERATING REFERENCE STATIONS (C.O.R.S.):

SNA.A CASE: 10816247 EASTING = 6481703.97 NORTHING = 10816247

SNA.A CASE: 10816247 EASTING = 6481703.97 NORTHING = 10816247

SURVEYOR OF RECORD: CALVADA SURVEYING, INC.

Armando D. Huilcut  
Registration No. 7780

**EXHIBIT "A"**

Page No. 2 of 57

Case No. ADM-2023-6353-08-STP

HCA-WC-E01

**OCT 30 2023**

**SURVEY**

sheet number

**A0.2**

plot date: 8/30/2023 4:49:46 PM

**ACMARTIN**

444 S FLOWER STREET SUITE 1200  
LOS ANGELES CA 90071 213 683 1900

project number: 2207036

project director:

project designer:

project architect:

**21300 OXNARD ST. WARNER CENTER**

META DEVELOPMENT, LLC  
11150 West Olympic Blvd.  
Suite 620  
Los Angeles, CA 90064

PHASE 1 – Demolish existing buildings on site and build a 100% affordable 173 unit apartment.

Demolition: Estimated completion date: December 2023

- Demolish the entire existing non-residential building, remove all existing site elements including parking lots, hardscape, utilities and landscaping.
- Rough grade the site and incorporate utilities required for the total building out of Phase 1 and to provide the main utilities.
- Provide all off-site improvements including dedications, street widening, new curbs, landscape and sidewalk for the entire site adjacent to the street.

	<u>Non-residential</u>	<u>Residential</u>	<u>Total</u>
Building Area to Be Demolished (This Phase)	(35,722) SF	0 SF	(35,722) SF
Existing Floor Area to Remain		0 SF	0 SF
New Area Added in Previous Phase to Remain		0 SF	0 SF
New Area Added This Phase		167,487 SF	167,487 SF
Total Area		167,487 SF	167,487 SF
Original Surface Parking to be Demolished	(228) Spaces	0 Space	(228) Spaces
New Structured Parking Added in Previous Phase	0 Space	0 Space	0 Space
New Structured Parking Added in this Phase		159 Space	159 Space
Total Parking		159 Space	159 Space
Publically Accessible Open Space (PAOS) Added in Previous Phase	0 SF	0 SF	0 SF
Publically Accessible Open Space (PAOS) Added in this Phase		8,436 SF	8,436 SF
Total Publically Accessible Open Space (PAOS)		8,436 SF	8,436 SF

Build 173 unit affordable apartment: Estimated completion date: April 2026

- Construct the apartment building and connect all utilities.
- Build all Phase 1 site improvements including the main driveway, publicly accessible open space hardscape and landscape and Fire Lane.
- Install all landscape elements including fencing along the property line on 3 sides for Phase 1.

Phase 2 – Build a 100% affordable 128 unit apartment. Estimated completion date: April 2027

	<u>Residential</u>	<u>Total</u>
New Area Added in Previous Phase to Remain	167,487 SF	167,487 SF
New Area Added This Phase	129,000 SF	129,000 SF
Total Area	296,487 SF	296,487 SF
New Structured Parking Added in Previous Phase	159 Space	159 Space
New Structured Parking Added in this Phase	70 Space	70 Space
Total Parking	229 Space	229 Space
Publically Accessible Open Space (PAOS) Added in Previous Phase	8,436 SF	8,436 SF
Publically Accessible Open Space (PAOS) Added in this Phase	7,956 SF	7,956 SF
Total Publically Accessible Open Space (PAOS)	16,392 SF	16,392 SF

- Construct 100% affordable 128 unit apartment and connect all utilities, and provide all finished site improvements around the building including all PAOS elements, hardscape and landscape.
- Repair all Phase 1 elements damaged during the Phase 2 construction including elements in the public way.

architect  
**ACMARTIN**  
 444 S FLOWER STREET SUITE 1200  
 LOS ANGELES CA 90071 T 213 683 1900

stamp

consultant

project number 2207036  
 project director  
 project designer  
 project architect

**21300 OXNARD  
 ST. WARNER  
 CENTER**

META DEVELOPMENT, LLC  
 11150 West Olympic Blvd.  
 Suite 620  
 Los Angeles, CA 90064

sheet name

PHASING  
 DESCRIPTION

sheet number

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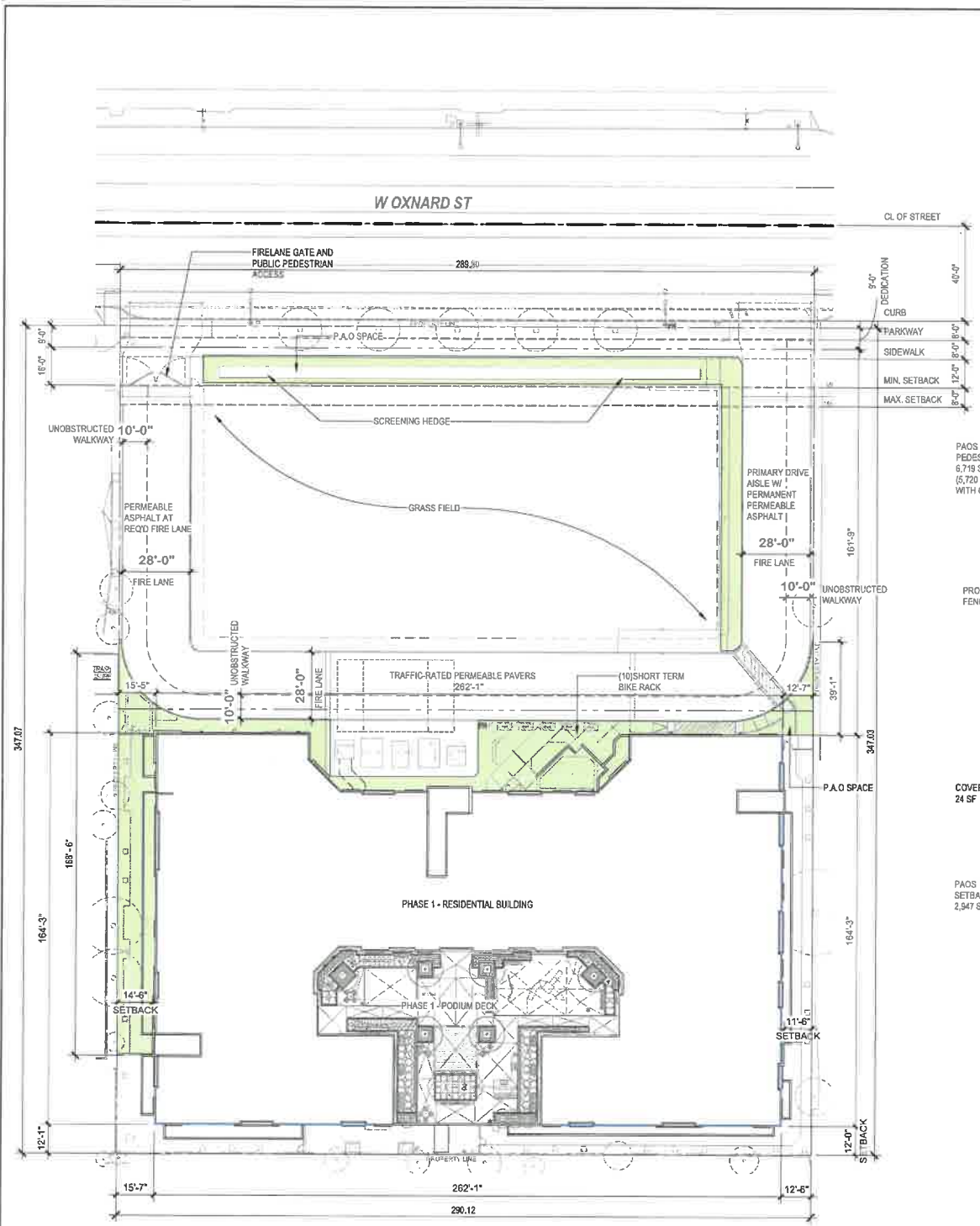
OCT 30 2023

**EXHIBIT "A"**

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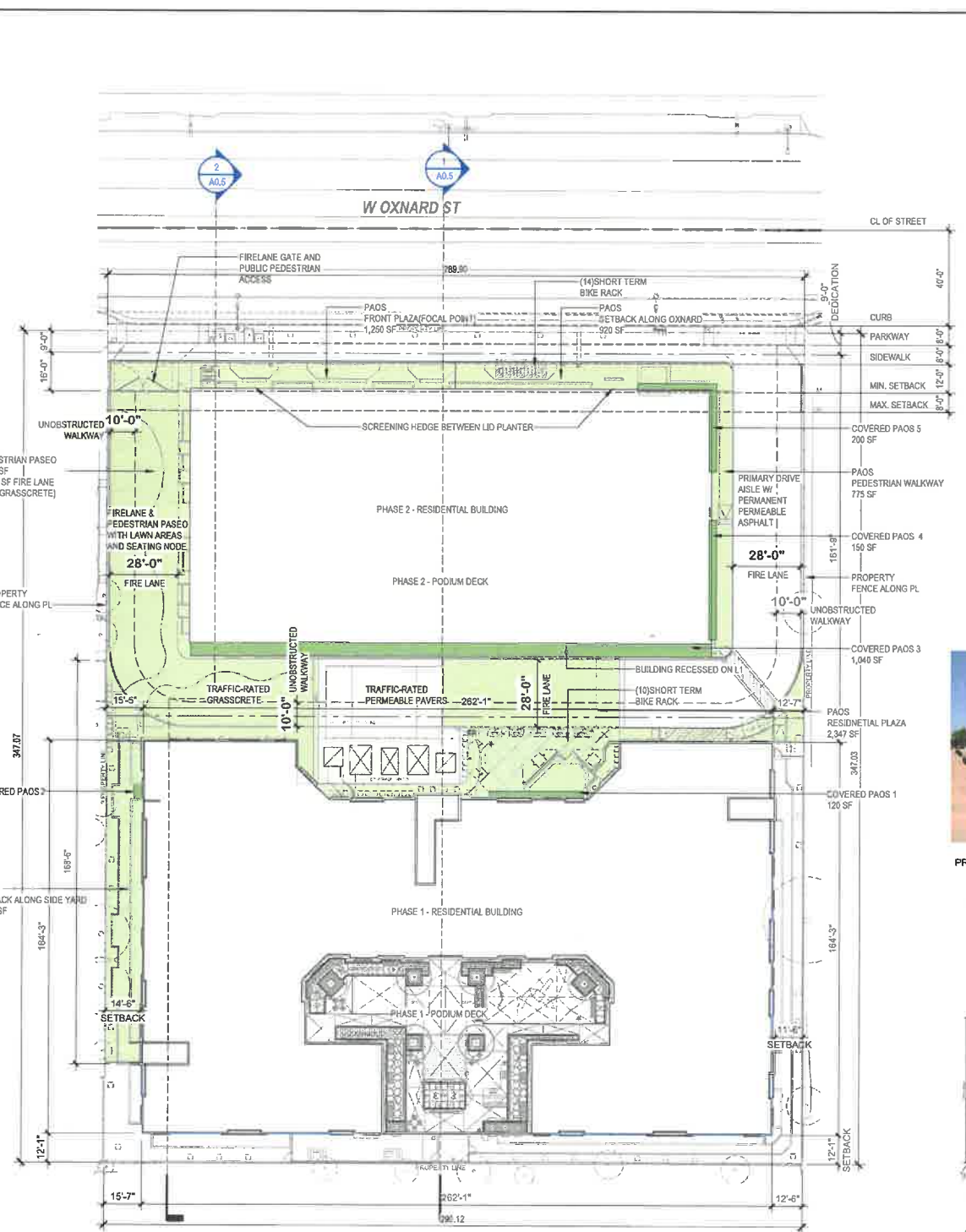
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**SITE PLAN - PHASE 1**

SCALE: 1" = 30'-0"

1



**SITE PLAN - PHASE 2**

SCALE: 1" = 30'-0"

P.A.O.S (PUBLICLY ACCESSIBLE OPEN SPACE)

2

PHASE 1+2  
SITE AREA: 98,013 SF AFTER DEDICATION

**PROVIDED:**

COVERED PAOS 1:	120 SF *
COVERED PAOS 2:	24 SF *
COVERED PAOS 3:	1,040 SF *
COVERED PAOS 4:	150 SF *
COVERED PAOS 5:	200 SF *
FRONT PLAZA (FOCAL POINT)	1,250 SF
SETBACK ALONG OXNARD	920 SF
PEDESTRIAN WALKWAY	675 SF
PEDESTRIAN PASEO	6,719 SF **
SETBACK ALONG SIDE YARD	2,947 SF
RESIDENTIAL PLAZA	2,347 SF
<b>TOTAL PROVIDED:</b>	<b>16,392 SF</b>

**TOTAL REQUIRED:** 14,702 SF (15% OF SITE AREA)

* TOTAL COVERED PAOS	1,534 SF
MAX. ALLOWED COVERED	1,639 SF (10% MAX OF TOTAL PROVIDED PAOS)

**SEE LANDSCAPE SHEET LP-2 FOR SEATING AND LANDSCAPED DETAIL BELOW**

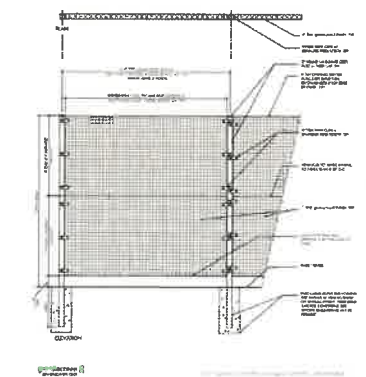
PLANTING AREA REQUIRED	8,196 SF (50% MIN. OF TOTAL PROVIDED PAOS)
<b>PLANTING AREA PROVIDED</b>	<b>9,100 SF</b>
SEATING REQUIRED	33 (1 SEAT PER 500 SF PROVIDED PAOS)
<b>SEATING PROVIDED</b>	<b>72</b>

\*\* AMONG PEDESTRIAN PASEO, 5,720 SF FOR EMERGENCY VEHICLE ACCESS LANE WITH GRASSCRETE (WCSP SECTION 6.2.2.3.3)  
MAX. ALLOWED 66% 10,819 SF



PROPERTY FENCE REFERENCE IMAGE

Post Mounted Collection  
Freestanding Horizontal



PROPERTY FENCE REFERENCE DETAIL

architect  
**ACMARTIN**  
444 S FLOWER STREET SUITE 1200  
LOS ANGELES CA 90071 T 213 683 1900

stamp

consultant

CITY OF LOS ANGELES, DEPARTMENT OF BUILDING AND SAFETY  
PRELIMINARY ZONING ASSESSMENT COMPLETED BY: Caleb Wong  
DATE: 10/05/2023  
APPLICATION #: 23010-10000-01865

project number 2207036  
project director  
project designer  
project architect

**21300 OXNARD ST. WARNER CENTER**

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Suite 620  
Los Angeles, CA 90064

sheet name

**SITE PLAN - PHASE 1&2**

sheet number

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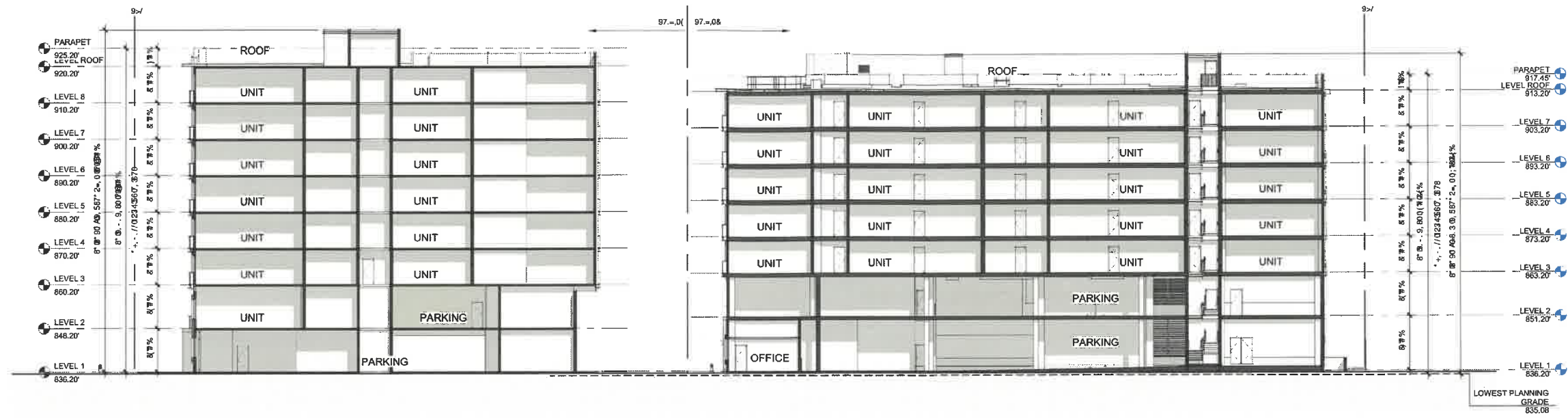
OCT 30 2023

**EXHIBIT "A"**

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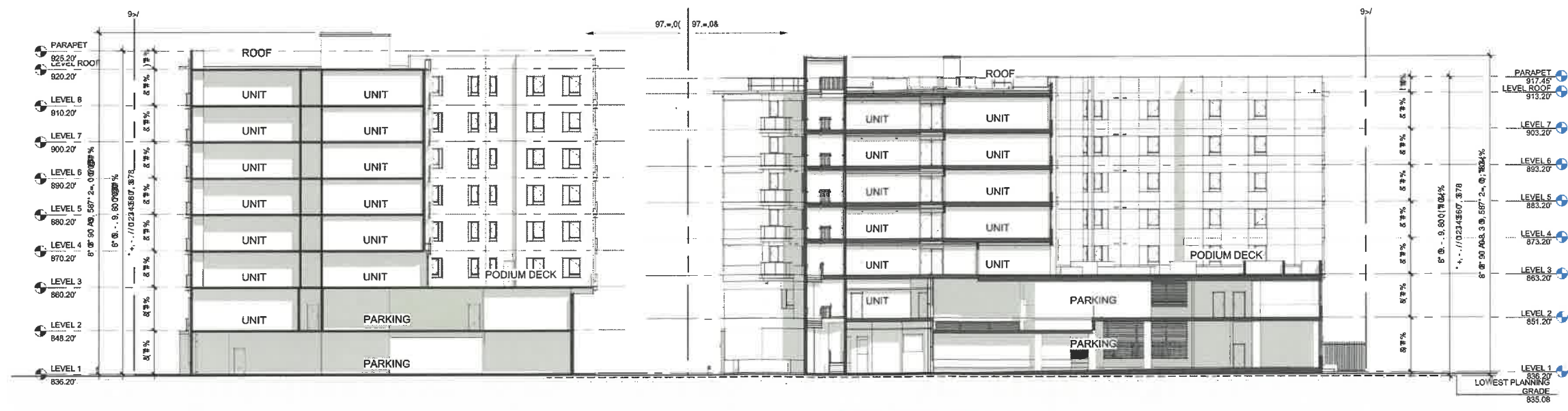
Case No. AOM-2023-6353-DO-STP-

HCA-WC-EP1



**SITE SECTION 2**  
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2



**SITE SECTION 1**  
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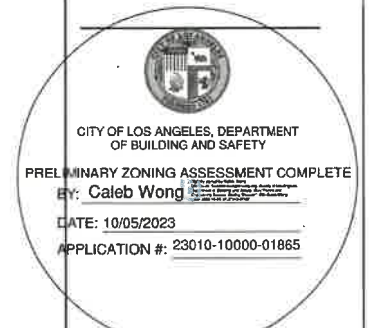
**EXHIBIT "A"**  
Page No. 5 of 57  
Case No. DOM-2023-6353-08-SPP-HCA-WC-001

OCT 30 2023

architect  
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444 S FLOWER STREET SUITE 1200  
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consultant



project number 2207036  
project director  
project designer  
project architect

**21300 OXNARD ST. WARNER CENTER**  
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**SITE SECTION**  
sheet number  
**A0.5**

plot date 8/30/2023 4:50:06 PM

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**THIS IS A LEED v4 EQUIVALENT PROJECT**

HERS testing and verifications will be performed that MAY NOT be a code requirement.

At a minimum these tests will be performed:

- QII Quality Insulation Installation
- Duct leakage testing
- ASHRAE 62.2 Ventilation testing
- Refrigerant charge testing
- Unit Compartmentalization (Blower Door)
- ENERGY STAR v3 Mandatory Checklists
- ENERGY STAR bath fans
- WaterSense fixtures

**\*REFER TO TITLE 24 DOCUMENTS FOR ADDITIONAL REQUIREMENTS**

All envelope assemblies and equipment have been selected and reviewed for compliance with both Title 24 and LEED.

**DO NOT SUBSTITUTE ANY PRODUCT OR CONSTRUCTION METHOD WITHOUT WRITTEN APPROVAL**

LEED BD+C, Multifamily Midrise v4 - LEED v4  
**21300 Oxnard (Warner Center) - LEED Silver Equivalent Scorecard**

Note: The information on this tab is READ-ONLY. To edit this information, use the Draft Category tab.

Category	Subcategory	Requirement	Points	Score	Verification
Integrative Process	IPc	Integrative Process	2 of 2	0	Verified
	<b>Location and Transportation</b> (Preliminary: 13 of 15)				
	LTP	Floorplan Avoidance	Required		Verified
	<b>Sustainable Sites</b> (Preliminary: 0.5 of 7)				
Sustainable Sites	SSp	Construction Activity Pollution Prevention	Required		Not Verified
	SSp	No Invasive Plants	Required		Not Verified
	SSc	Heat Island Reduction	0 of 2	1	
	SSc	Rainwater Management	0 of 3	0	
Water Efficiency	WEp	Water Metering	Required		Not Verified
	<b>Energy and Atmosphere</b> (Preliminary: 12.5 of 37)				
	EAp	Minimum Energy Performance	Required		Not Verified
	EAp	Energy Modeling	Required		Not Verified
Energy and Atmosphere	EAp	Education of the Homeowner, Tenant or Building Manager	Required		Not Verified
	EAc	Annual Energy Use	10.5 of 30	0	0.0
	EAc	Efficient Hot Water Distribution System	2 of 6	0	
	EAc	Advanced Utility Tracking	0 of 2	1	
Materials and Resources	MRp	Certified Tropical Wood	Required		Verified
	MRp	Durability Management	Required		Not Verified
	MRc	Environmentally Preferable Products	1 of 5	0	
	MRc	Construction Waste Management	1 of 3	0	
Indoor Environmental Quality	<b>Indoor Environmental Quality</b> (Preliminary: 5 of 15)				
	EQp	Ventilation	Required		Not Verified
	EQp	Combustion Venting	Required		Not Verified
	EQp	Gas/Pollutant Protection	Required		Not Verified
	EQp	Radon-Resistant Construction	Required		Not Verified
	EQp	Air Filtration	Required		Not Verified
	EQp	Environmental Tobacco Smoke	Required		Not Verified
	EQp	Compartmentalization	Required		Not Verified
	EQc	Enhanced Ventilation	1 of 3	0	
	EQc	Contaminant Control	0 of 2	0.5	
	EQc	Enhanced Compartmentalization	1 of 3	0	
	EQc	Enhanced Ventilation	0 of 3	0	
	EQc	Combustion Venting	2 of 2	0	
EQc	Enhanced Gas/Pollutant Protection	0 of 1	0		
EQc	Low-Emitting Products	3 of 5	0		
EQc	No Environmental Tobacco Smoke	1 of 1	0		
Innovation	<b>Innovation</b> (Preliminary: 1 of 8)				
	IPc	Preliminary Rating	Required		Verified
	IPc	Innovation	1 of 6	0	
Regional Priority	<b>Regional Priority</b> (Preliminary: 4 of 4)				
	RPC	Regional Priority	4 of 4	0	
<b>Point Floors</b>					
The project earned at least 6 points total in Location and Transportation and Energy and Atmosphere					
The project earned at least 3 points in Water Efficiency					
The project earned at least 3 points in Indoor Environmental Quality					
<b>Total</b> (Preliminary: 51 of 110) Verified: 0.5					

Certification Thresholds: Certified: 40-49, Silver: 50-59, Gold: 60-79, Platinum: 80-110

architect  
**ACMARTIN**  
 444 S FLOWER STREET SUITE 1200  
 LOS ANGELES CA 90071 T 213 683 1900

stamp

consultant

project number 2207036  
 project director  
 project designer  
 project architect

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 11150 West Olympic Blvd.  
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sheet name

**LEED CHECKLIST SHEET**

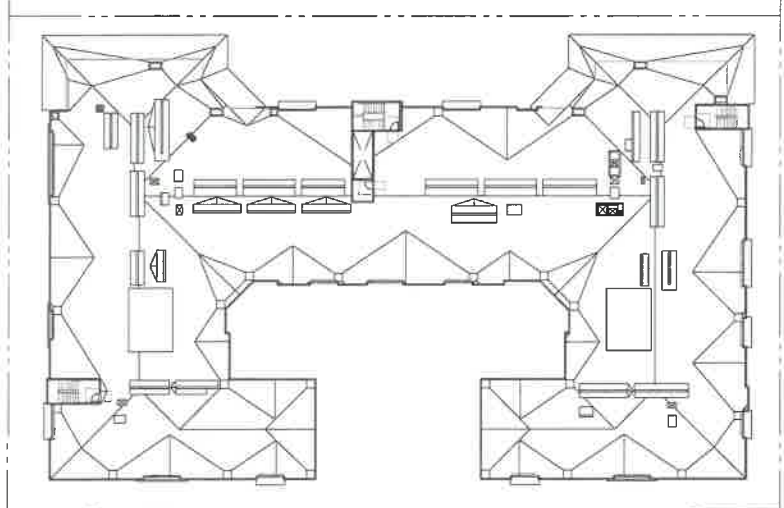
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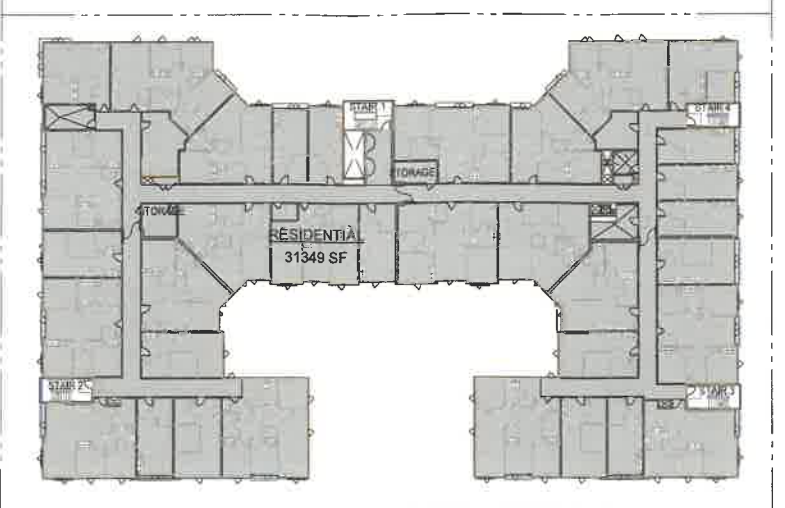
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**LEVEL ROOF - PHASE 1**

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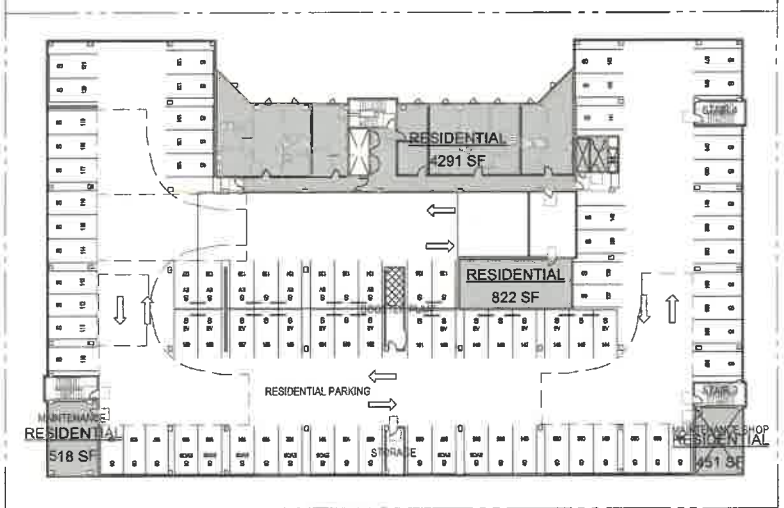
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**LEVEL 5 - PHASE 1**

SCALE: 1/32" = 1'-0"

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**LEVEL 2 - PHASE 1**

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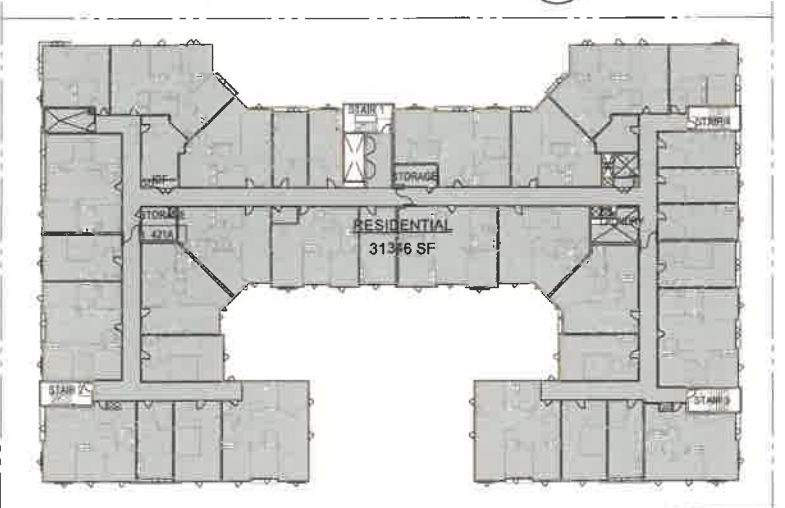
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**LEVEL 7 - PHASE 1**

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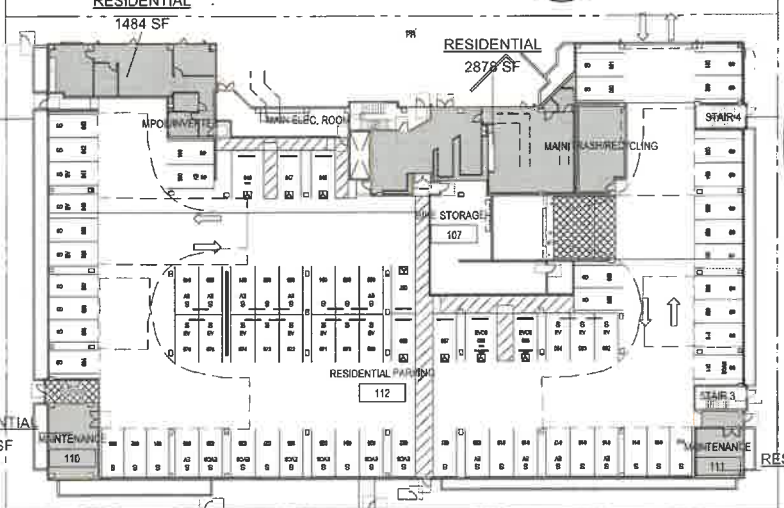
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**LEVEL 4 - PHASE 1**

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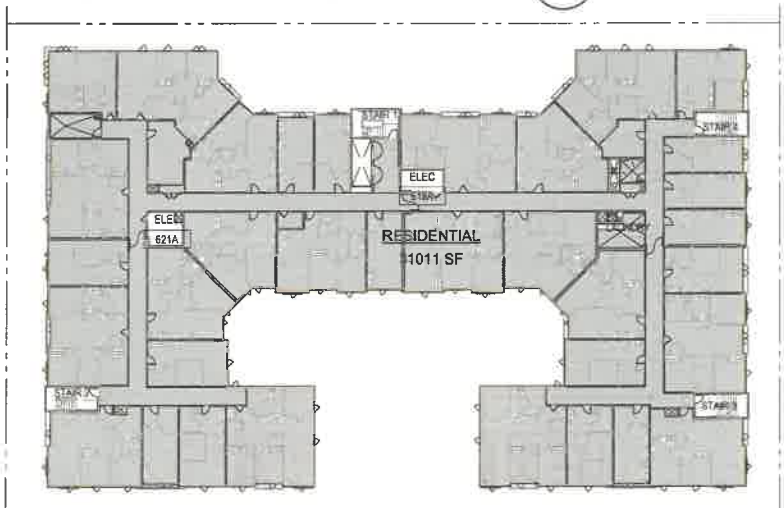
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**LEVEL 1 - PHASE 1**

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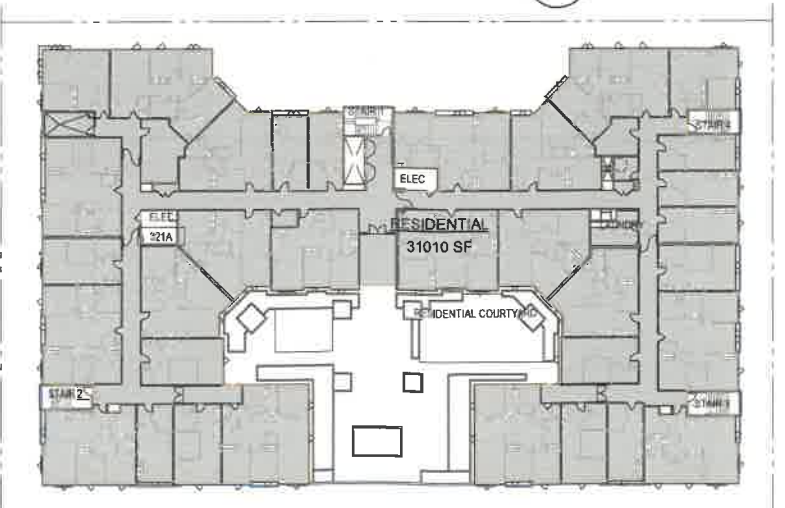
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A0.7



**LEVEL 6 - PHASE 1**

SCALE: 1/32" = 1'-0"

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A0.7



**LEVEL 3 - PHASE 1**

SCALE: 1/32" = 1'-0"

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A0.7

**FLOOR AREA CALCULATION**

LEVEL	AREA	AREA SF
LEVEL 1	RESIDENTIAL	5,346 SF
LEVEL 2	RESIDENTIAL	6,081 SF
LEVEL 3	RESIDENTIAL	31,010 SF
LEVEL 4	RESIDENTIAL	31,346 SF
LEVEL 5	RESIDENTIAL	31,340 SF
LEVEL 6	RESIDENTIAL	31,011 SF
LEVEL 7	RESIDENTIAL	31,346 SF
GRAND TOTAL	RESIDENTIAL	167,487 SF

\*FLOOR AREA IS CALCULATED PER LOS ANGELES MUNICIPAL CODE DEFINITION:  
THE AREA IN SQUARE FEET CONFINED WITHIN THE EXTERIOR WALLS OF A BUILDING, BUT NOT INCLUDING THE AREA OF THE FOLLOWING: EXTERIOR WALLS, STAIRWAYS, SHAFTS, ROOMS HOUSING BUILDING-OPERATING EQUIPMENT OR MACHINERY, PARKING AREAS WITH ASSOCIATED DRIVEWAYS AND RAMPS, SPACE DEDICATED TO BICYCLE PARKING, SPACE FOR THE LANDING AND STORAGE OF HELICOPTERS, AND BASEMENT STORAGE AREAS.

OCT 30 2023  
**EXHIBIT "A"**  
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HCA-WC-601

architect  
**AC MARTIN**  
444 S FLOWER STREET SUITE 1200  
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stamp  
consultant

CITY OF LOS ANGELES, DEPARTMENT OF BUILDING AND SAFETY  
PRELIMINARY ZONING ASSESSMENT COMPLETE  
BY: Caleb Wong  
DATE: 10/05/2023  
APPLICATION #: 23010-10000-01865

project number 2207036  
project director  
project designer  
project architect

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META DEVELOPMENT, LLC  
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**PHASE 1 FLOOR AREA CALCULATION**

sheet number  
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architect  
**AC MARTIN**  
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project number 2207036  
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 project designer  
 project architect

**21300 OXNARD ST. WARNER CENTER**  
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 11150 West Olympic Blvd.  
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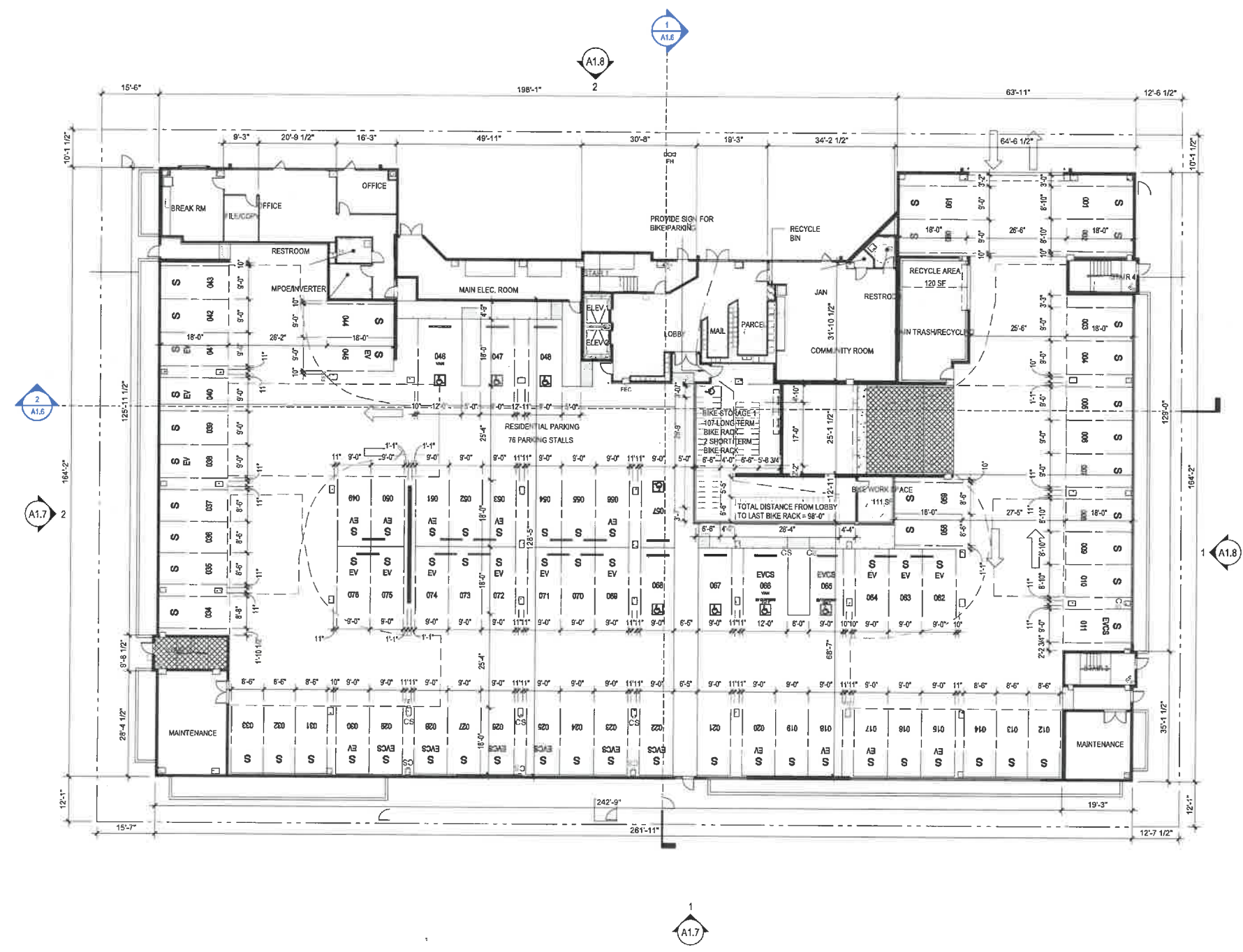
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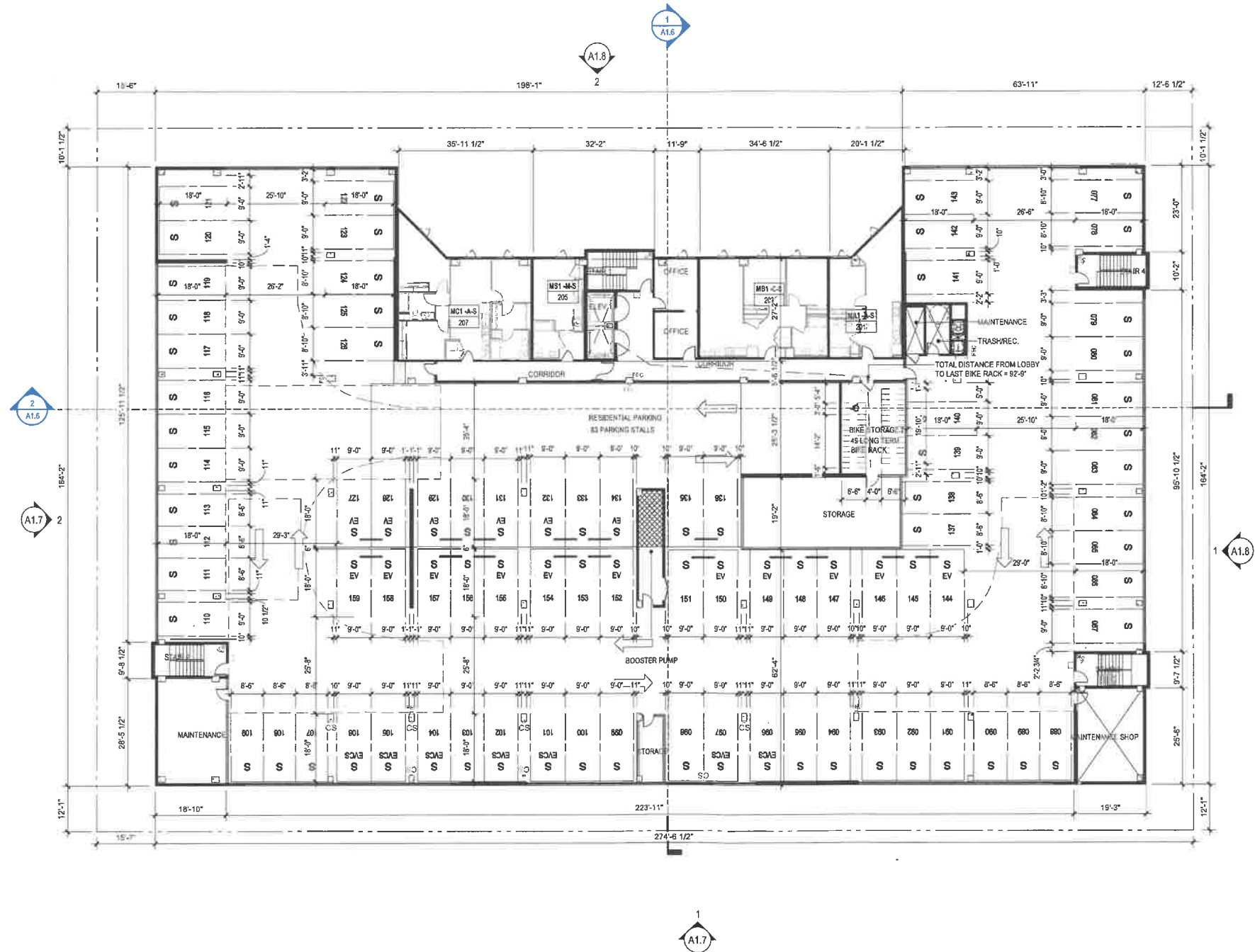
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HCA-WL-E01

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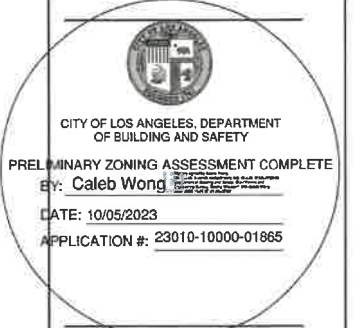
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architect  
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 444 S FLOWER STREET SUITE 1200  
 LOS ANGELES CA 90071 7213 683 1900

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consultant



project number 2207036  
 project director  
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 project architect

**21300 OXNARD ST. WARNER CENTER**  
 META DEVELOPMENT, LLC  
 11150 West Olympic Blvd.  
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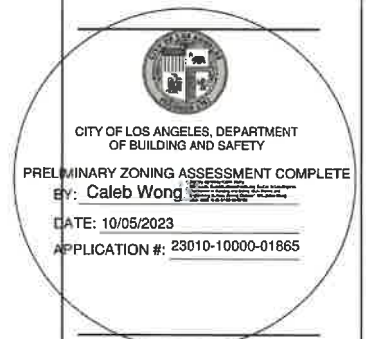
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OCT 30 2023  
**EXHIBIT "A"**  
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SPP-PCA-WC-E01



**21300 OXNARD ST. WARNER CENTER**

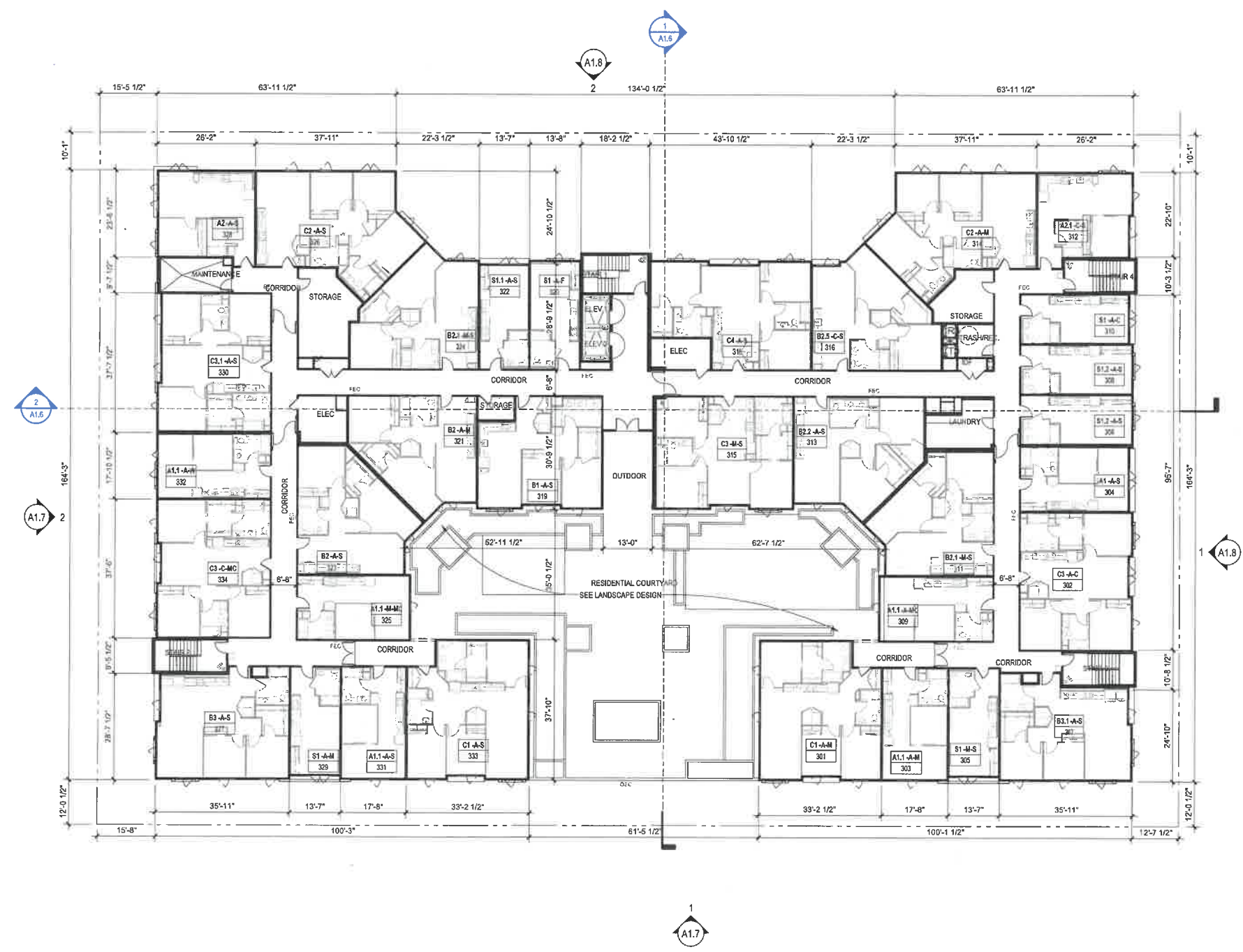
META DEVELOPMENT, LLC  
 11150 West Olympic Blvd.  
 Suite 620  
 Los Angeles, CA 90064

**PHASE 1 - LEVEL 3**

**EXHIBIT "A"**  
 Page No. 10 of 57  
 Case No. \_\_\_\_\_

ADM-2023-6353-03-SPP-HCA-WL-EP) **A1.3**

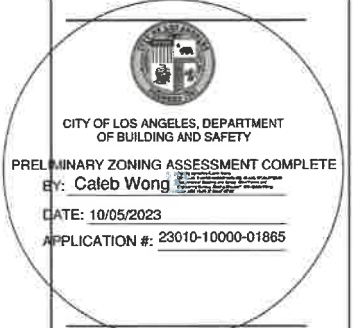
OCT 30 2023



architect  
**ACMARTIN**  
 444 S FLOWER STREET SUITE 1200  
 LOS ANGELES CA 90071 Y 213 683 1900

stamp

consultant



project number 2207036  
 project director  
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**21300 OXNARD  
 ST. WARNER  
 CENTER**

META DEVELOPMENT, LLC  
 11150 West Olympic Blvd.  
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 Los Angeles, CA 90064

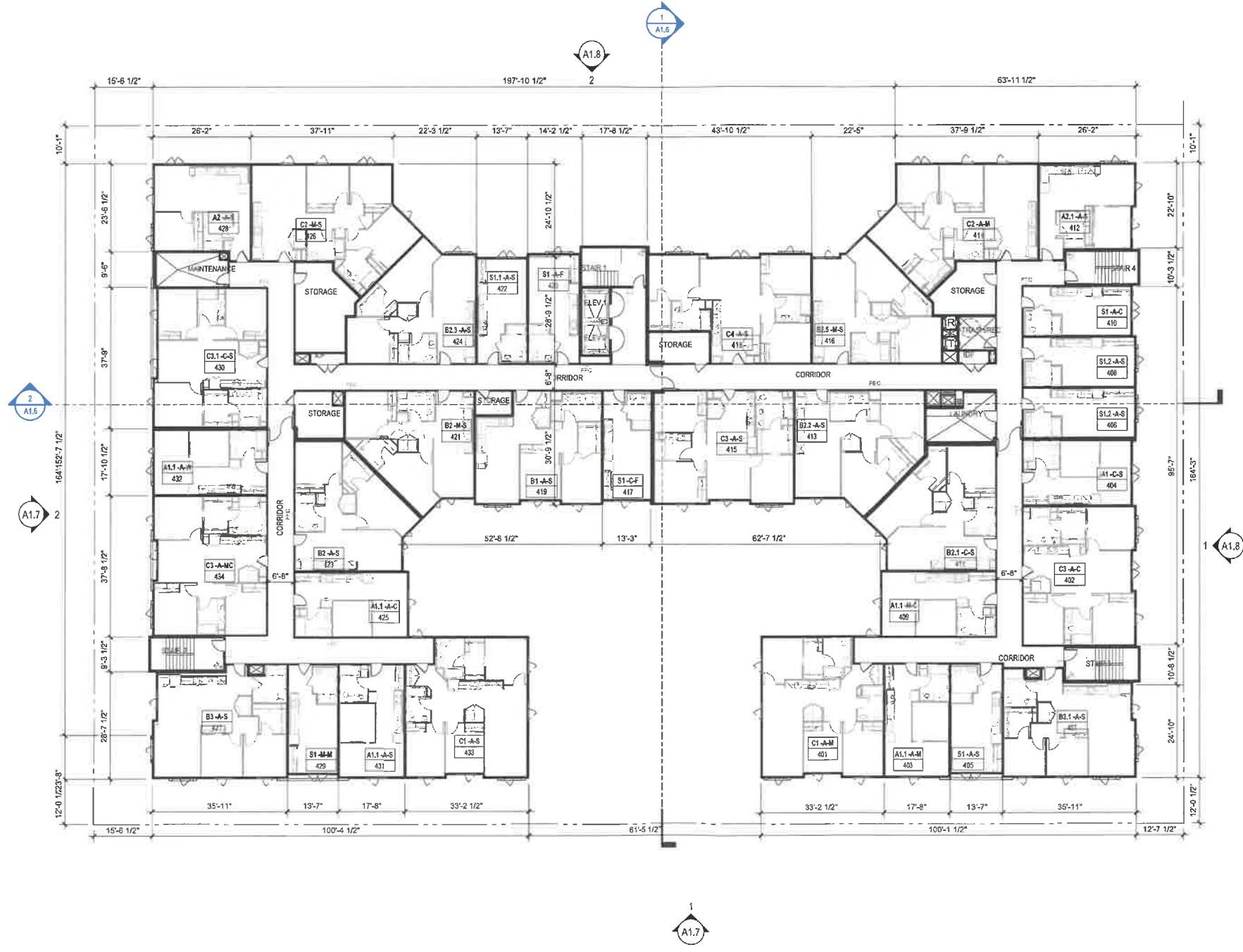
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 TO LEVEL 7

sheet number

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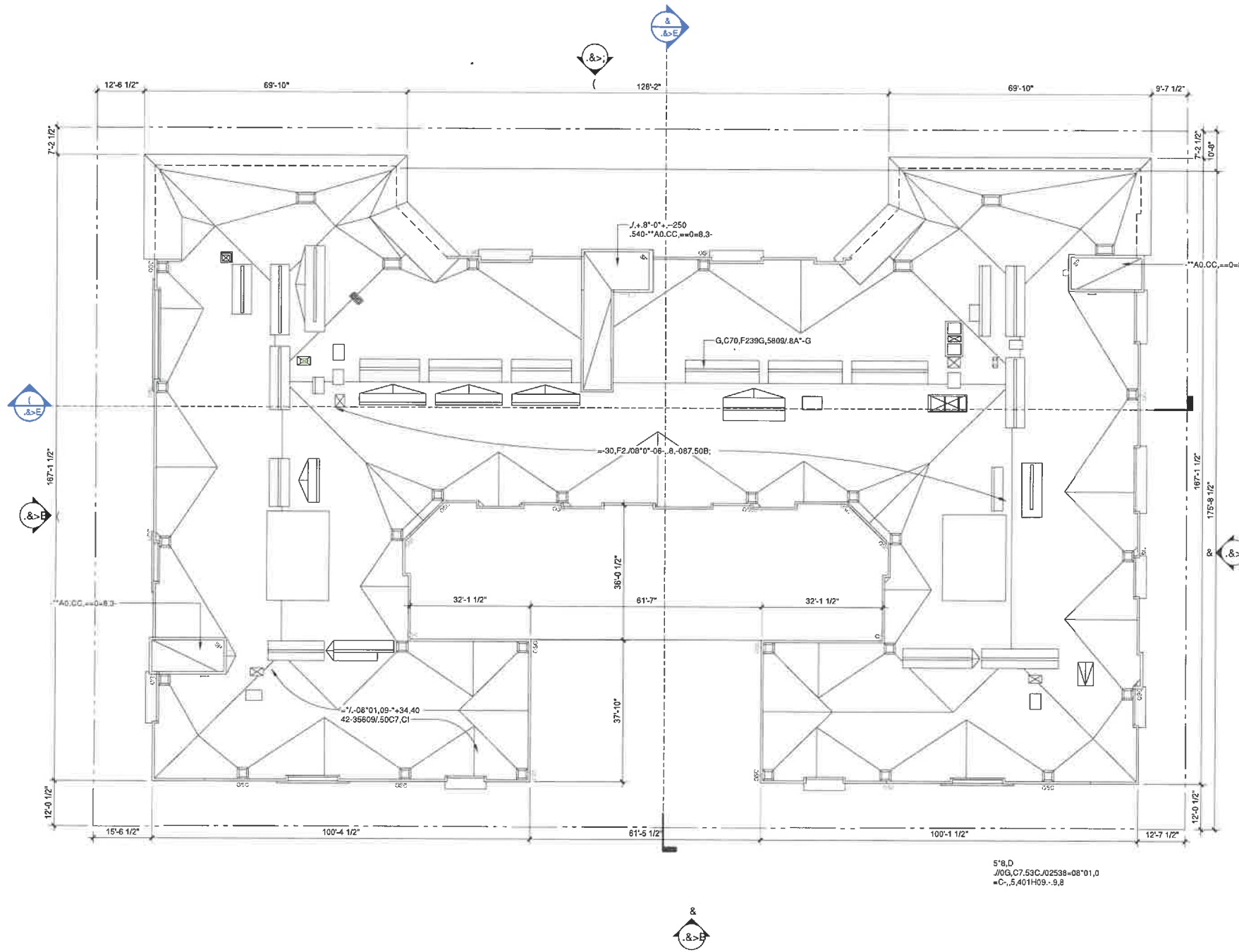
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OCT 30 2023  
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 HCA-WL-E01

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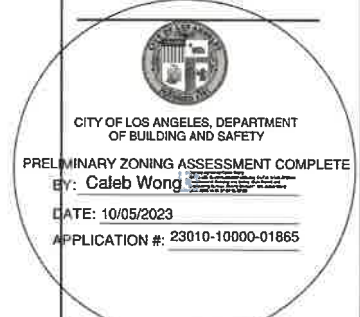


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architect  
**ACMARTIN**  
 444 S FLOWER STREET SUITE 1200  
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sheet name

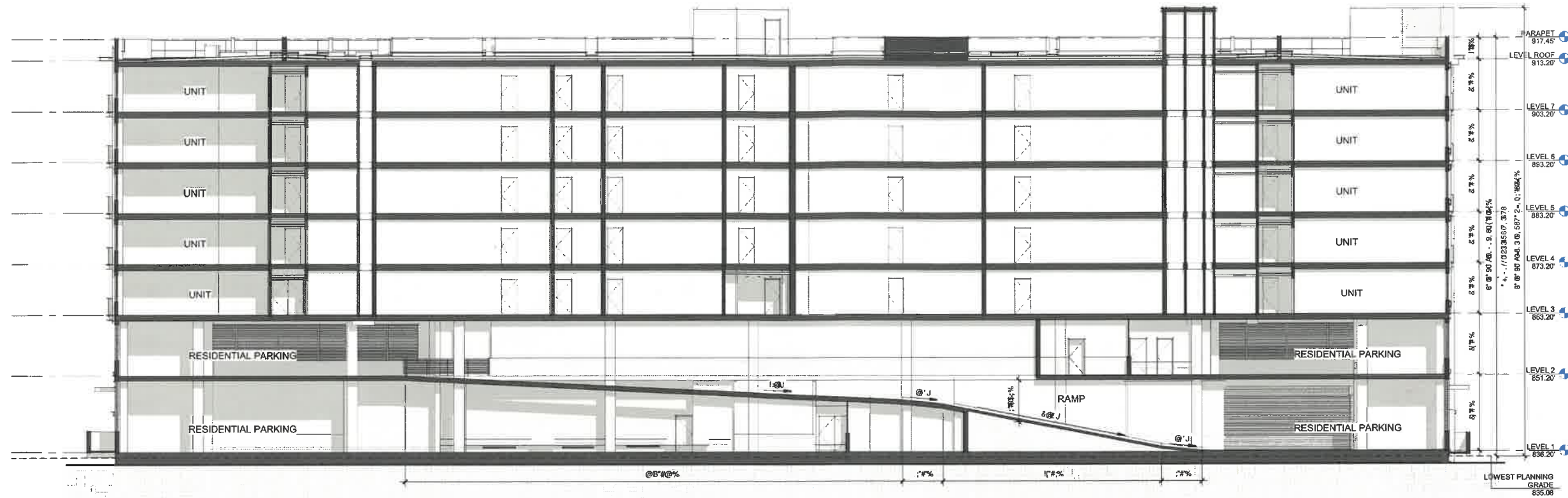
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**EXHIBIT "A"**  
 Page No. 12 of 57  
 Case No. ADM-2023-6353-013-811-11A-WC-1501

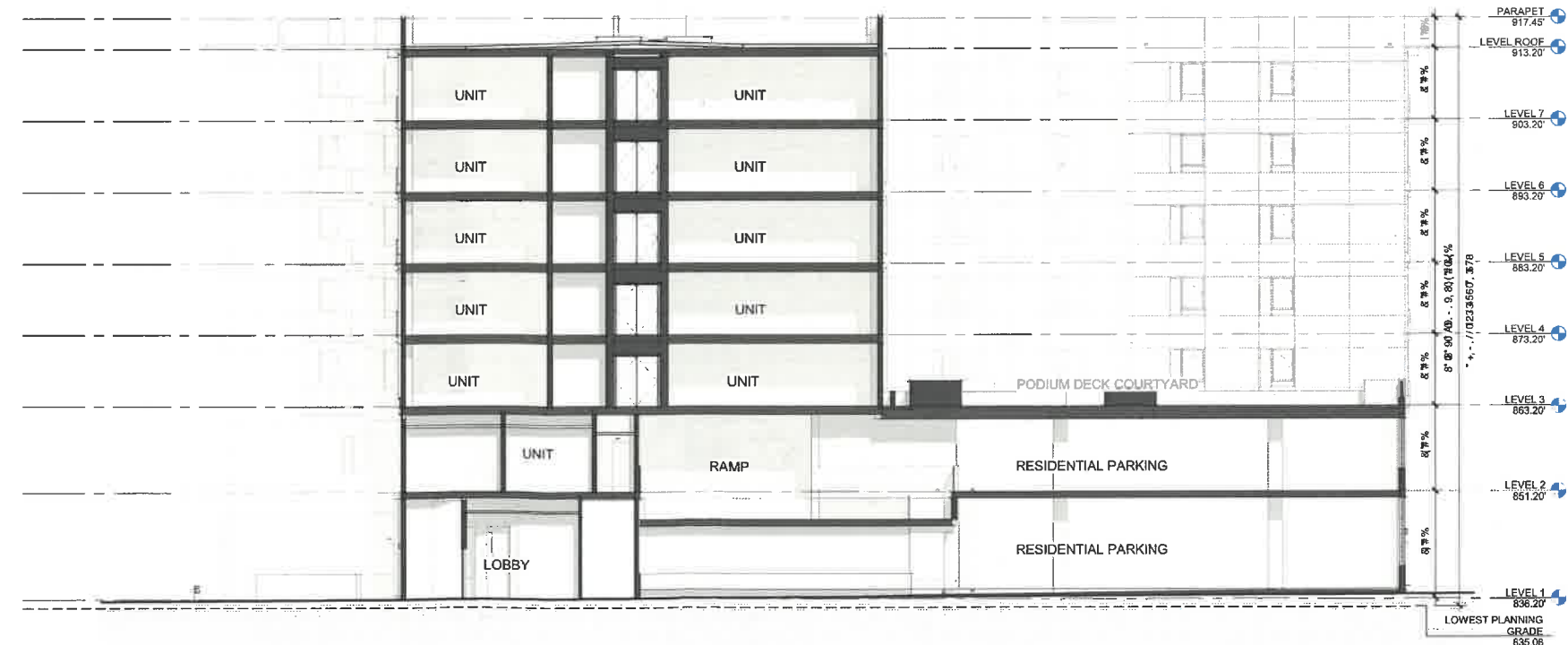
OCT 30 2023



**EAST - WEST SECTION**

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**NORTH - SOUTH SECTION**

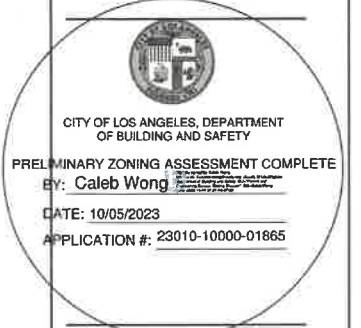
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1

architect  
**AC MARTIN**  
 444 S FLOWER STREET SUITE 1200  
 LOS ANGELES CA 90071 T 213 683 1900

stamp

consultant



project number 2207036  
 project director  
 project designer  
 project architect

**21300 OXNARD ST. WARNER CENTER**  
 META DEVELOPMENT, LLC  
 11150 West Olympic Blvd.  
 Suite 620  
 Los Angeles, CA 90064

**PHASE 1 - SECTIONS**

sheet number  
**A1.6**

plot date 8/30/2023 4:50:24 PM

**EXHIBIT "A"**  
 Page No. 13 of 57  
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OCT 30 2023

Autodesk Plot/P2207036 21300 Oxnard/META-Donald\_R22.rvt

**MATERIAL LEGEND**

SEE A0.6 FOR MATERIAL SPEC

MARK	BUILDING COMPONENT	COLOR
4F&	J2G352004**0.80=8",A*58	=3"506/==0<01/C1 J2G352008**0.80=8",A*58 G2/2'S
4F\$	7"K0G,8,04"	9.3.4.408"0G,8C70,4MC,58 A.C.4.0C1"
G8F(	J2G35200C*G9**38,0G,8,9/	=4.805_H
G8F\$	J2G35200C*G9**38,0G,8,9/	42-8HDC7-C*_J033
G8F!	M2/3,801,JC*SH09**A*-8.40/J2G3520 8.5,0-3/256	1/C1
G8F)	J2G3520072**06-8	HOC/==3C03&1
G8F&	M2/3,801,JC*SH0999,0-3/356	A/801/C1021-#1
G8F#	G,8,0=250*7.4,	1B04-101**5N,0.5*43N,4 OC1*08"0G,8C70/2/3*5P
9F&	=82CC*	6/C3-0K738,009#8"OC@P
9F(	=82CC*	=7-K350K3/3.G-0805_H
9F\$	=82CC*	=7-K350K3/3.G-0804-1 6-H
9F!	=82CC*	=7-K350K3/3.G-081-K5
9F)	=82CC*	=7-K350K3/3.G-08 =54-8'S
9F&	=82CC*	=7-K350K3/3.G-080M,8 6-H
9F#	_083_-09,358	=7-K350K3/3.G-08001/C1
9F\$	=34356	1/2,
9F!	=34356	C,4-
K9F&	+35F40K354"K	+3-3"506/==0<01/C108-3G
K9F(	+8"-A*580+H=8,G	+3"506/==0<01/B04-1 1*5N,0.5*43N,4
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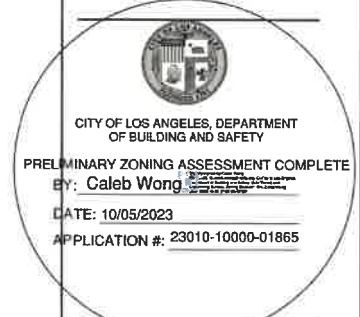


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 Case No. AD11-2023-6353-D3-SPP-HCA-WL-ED

OCT 30 2023

architect  
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 project director  
 project designer  
 project architect

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**PHASE 1 - ELEVATIONS**

**A1.7**

sheet number  
 plot date 8/30/2023 4:50:38 PM



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PAINT EXTERIOR DOOR TO MATCH ADJACENT MATERIAL COLOR, TYP  
**NORTH ELEVATION**  
 =C/,D \$-\$(%0:0&\*"#%#

PARAPET 917.45'  
 LEVEL ROOF 913.20'  
 LEVEL 7 903.20'  
 LEVEL 6 893.20'  
 LEVEL 5 883.20'  
 LEVEL 4 873.20'  
 LEVEL 3 863.20'  
 LEVEL 2 851.20'  
 LEVEL 1 836.20'  
 LOWEST PLANNING GRADE 835.08



PAINT EXTERIOR DOOR TO MATCH ADJACENT MATERIAL COLOR, TYP  
**EAST ELEVATION**  
 =C/,D \$-\$(%0:0&\*"#%#

PARAPET 917.45'  
 LEVEL ROOF 913.20'  
 LEVEL 7 903.20'  
 LEVEL 6 893.20'  
 LEVEL 5 883.20'  
 LEVEL 4 873.20'  
 LEVEL 3 863.20'  
 LEVEL 2 851.20'  
 LEVEL 1 836.20'  
 LOWEST PLANNING GRADE 835.08

architect  
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stamp  
 consultant

CITY OF LOS ANGELES, DEPARTMENT OF BUILDING AND SAFETY  
 PRELIMINARY ZONING ASSESSMENT COMPLETE  
 BY: Caleb Wong  
 DATE: 10/05/2023  
 APPLICATION #: 23010-10000-01865

project number 2207036  
 project director  
 project designer  
 project architect

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 11150 West Olympic Blvd.  
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 Los Angeles, CA 90064

**PHASE 1 - ELEVATIONS**

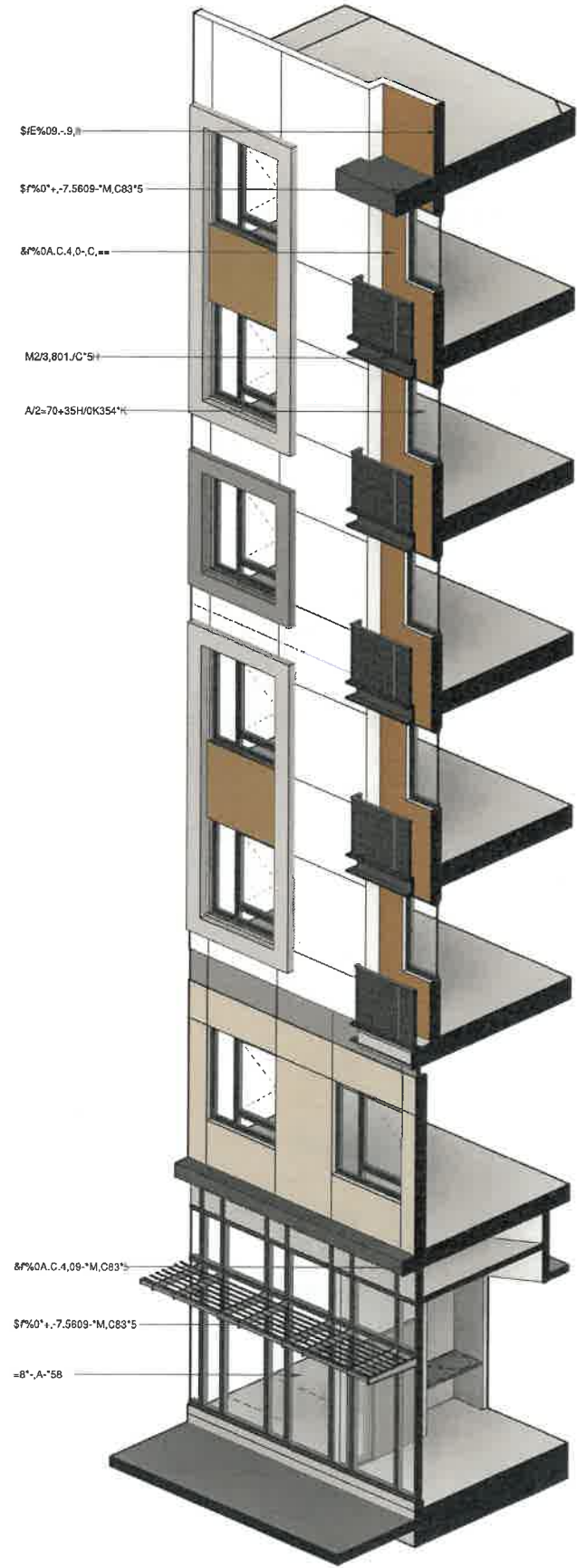
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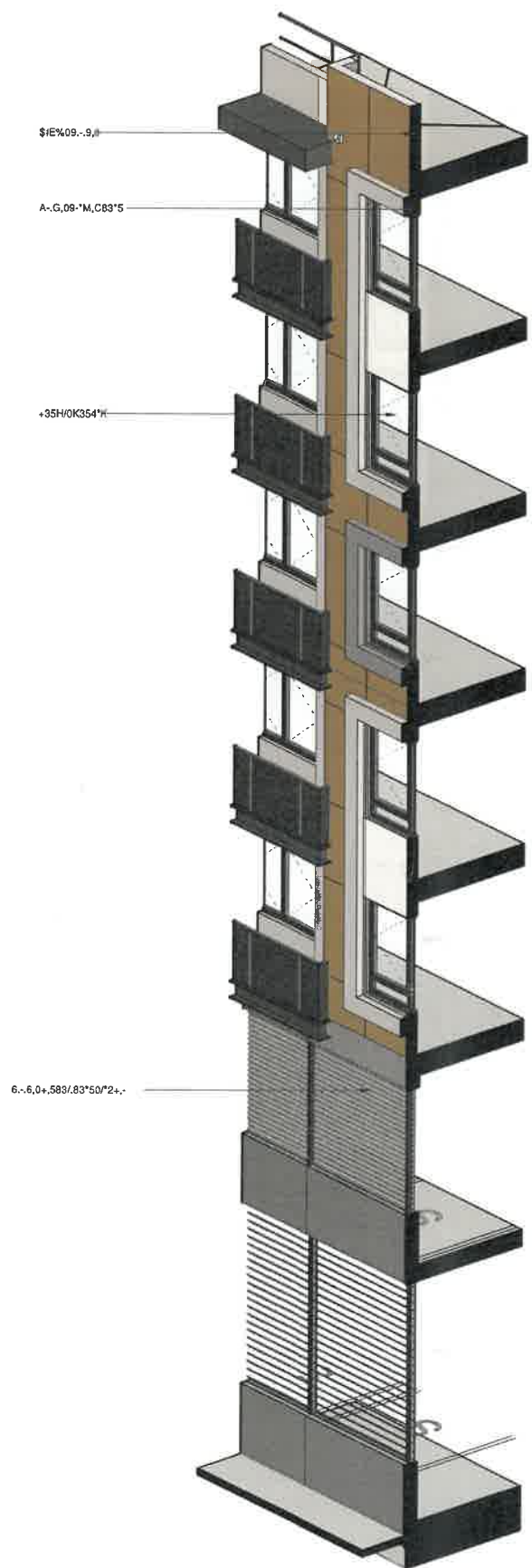
**EXHIBIT "A"**  
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OCT 30 2023

Autodesk Docs/2207036 21300 Oxnard/META-Oxnard\_R22.rvt



TYP. WALL SECTION 1  
=C./D



TYP. WALL SECTION 2  
=C./D



TYP. WALL SECTION 3  
=C./D

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 stamp  
 consultant  
 project number 2207036  
 project director  
 project designer  
 project architect

**EXHIBIT "A"**  
 Page No. 16 of 57  
 Case No. \_\_\_\_\_

ADMM-2023-6353-08-3YY-HLA  
 WC-EP1  
 OCT 30 2023

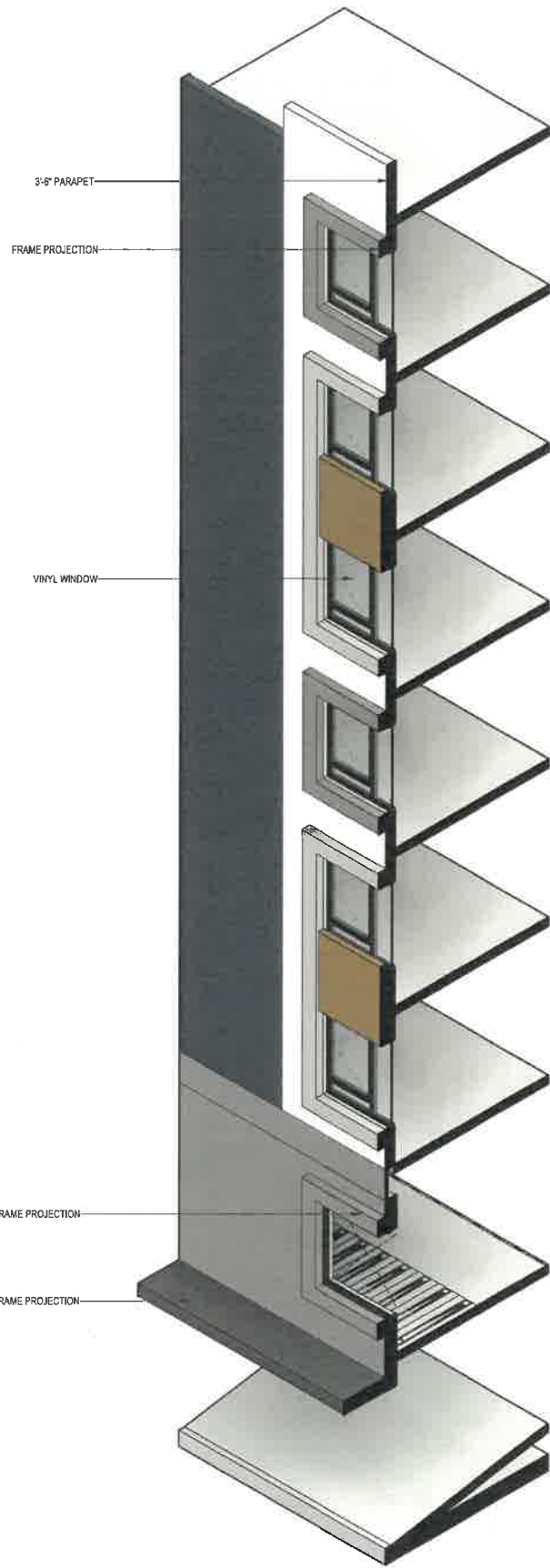
**21300 OXNARD  
 ST. WARNER  
 CENTER**  
 META DEVELOPMENT, LLC  
 11150 West Olympic Blvd.  
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 Los Angeles, CA 90064

PHASE 1 - TYPICAL  
 WALL SECTIONS

sheet number  
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plot date 8/30/2023 4:50:57 PM

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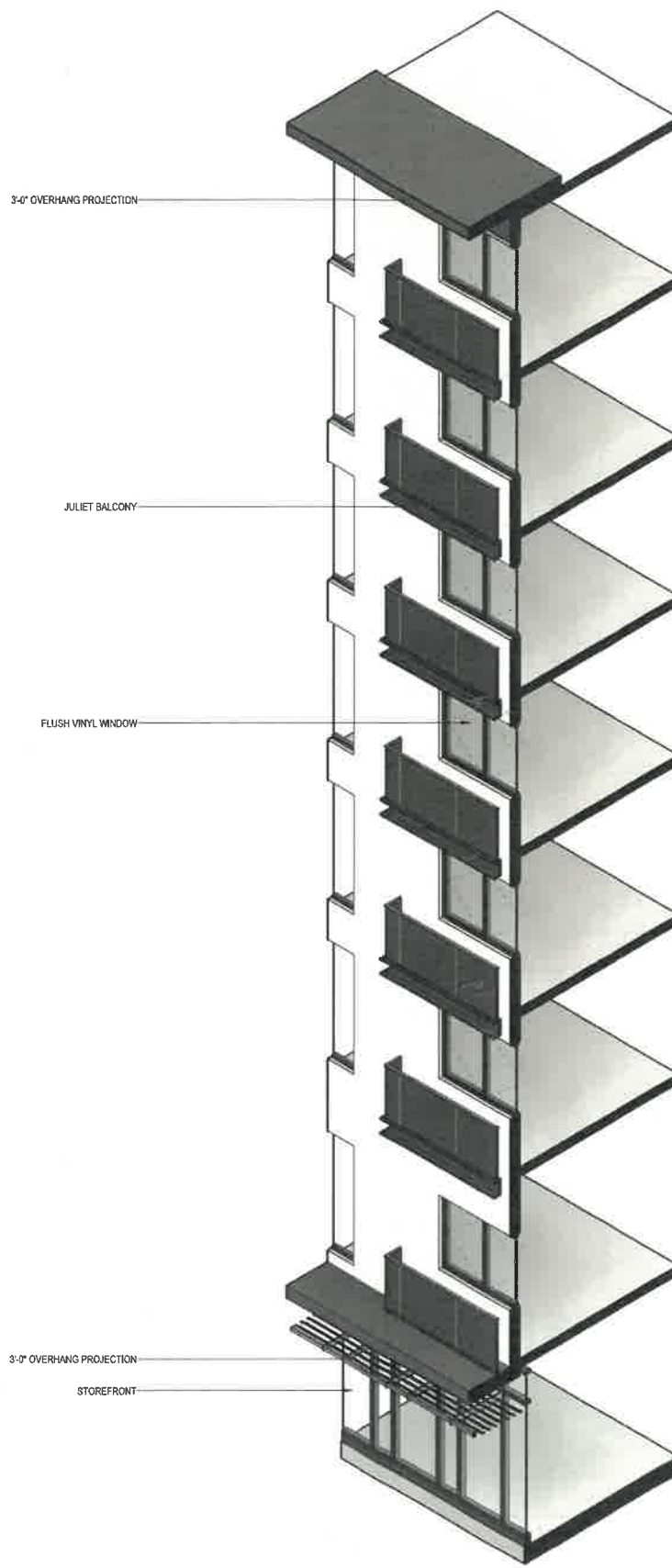


TYPICAL WALL SECTION 1

SCALE:

1

A2.9

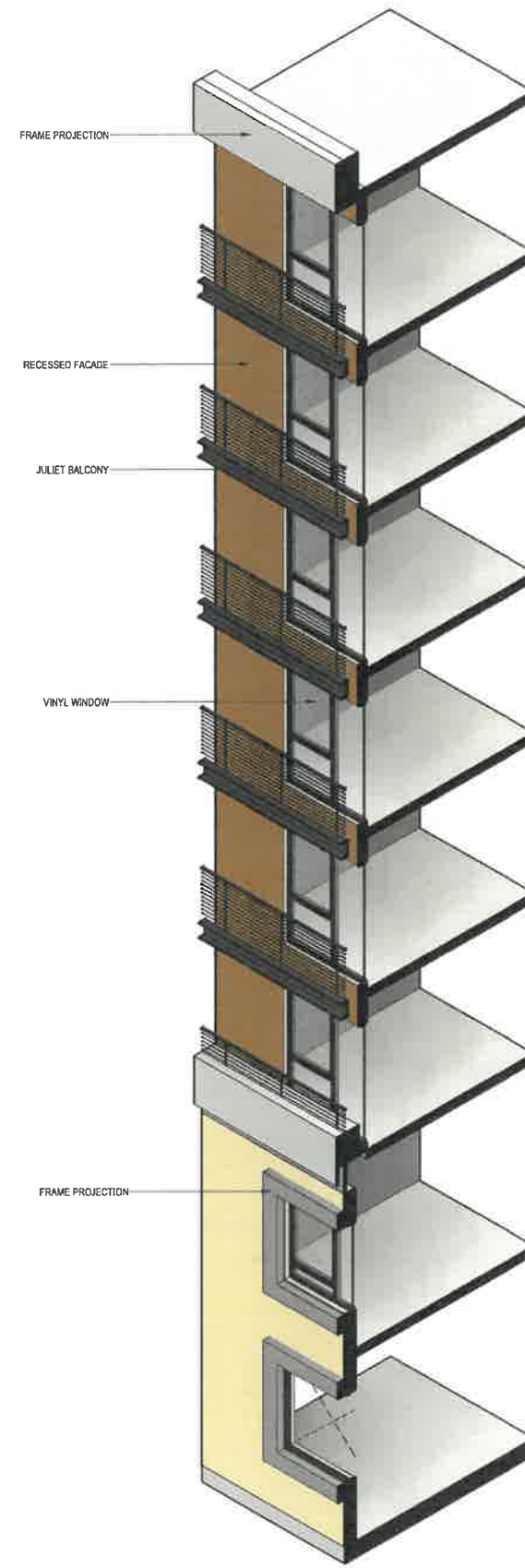


TYPICAL WALL SECTION 2

SCALE:

2

A2.9



TYPICAL WALL SECTION 3

SCALE:

3

A2.9

architect  
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 LOS ANGELES CA 90071 T 213 683 1900

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consultant

project number 2207036  
 project director  
 project designer  
 project architect

**EXHIBIT "A"**  
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 Case No. ADM-2023-6353

DB-SYP-HCA-WC-ED1

OCT 30 2023

**21300 OXNARD  
 ST. WARNER  
 CENTER**

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 Los Angeles, CA 90064

sheet name

**PHASE 2 - TYPICAL  
 WALL SECTIONS**

sheet number



**A2.9**

plot date 8/30/2023 4:43:24 PM

**DOORS**

	<p><b>D-01</b></p> <p><b>Material:</b> 350 / 500 IR Entrance Doors</p> <p><b>Color:</b> Vision Glass/ Black Aluminum</p> <p><b>Operable:</b> Kawneer Standard Finishes</p> <p><b>Manufacturer:</b> Kawneer (Or Similar)</p>
	<p><b>D-02</b></p> <p><b>Material:</b> 2000T Terrace Doors</p> <p><b>Color:</b> Vision Glass/ Black Aluminum</p> <p><b>Operable:</b> Kawneer Standard Finishes</p> <p><b>Manufacturer:</b> Kawneer (Or Similar)</p>
	<p><b>D-03</b></p> <p><b>Material:</b> Hollow Metal Door</p> <p><b>Color:</b> Color to Match Adjacent Material</p> <p><b>Finish:</b> Prime Painted</p> <p><b>Manufacturer:</b> CDF Distributors (Or Similar)</p>

**WINDOWS**

	<p><b>W-01</b></p> <p><b>Material:</b> Vinyl Windows</p> <p><b>Color:</b> Vision Glass/ Black Trim</p> <p><b>Operable:</b> Slider</p> <p><b>Manufacturer:</b> Pro Via (Or Similar)</p>
	<p><b>W-02</b></p> <p><b>Material:</b> Trifab 601 Storefront System</p> <p><b>Color:</b> Vision Glass/ Black Trim</p> <p><b>Operable:</b> Painted Aluminum</p> <p><b>Manufacturer:</b> Kawneer (Or Similar)</p>
	<p><b>W-03</b></p> <p><b>Material:</b> Essence Series</p> <p><b>Color:</b> Tweed</p> <p><b>Operable:</b> Painted Aluminum</p> <p><b>Manufacturer:</b> Milgard (Or Similar)</p>

**METAL**

	<p><b>MT-02</b></p> <p><b>Material:</b> Aluminum Composite Material</p> <p><b>Color:</b> Cadet Gray</p> <p><b>Finish:</b> PVDF 2/SRI 51</p> <p><b>Manufacturer:</b> Alucobond (Or Similar)</p>
	<p><b>MT-03</b></p> <p><b>Material:</b> Aluminum Composite Material</p> <p><b>Color:</b> Dusty Charcoal</p> <p><b>Finish:</b> PVDF 3</p> <p><b>Manufacturer:</b> Alucobond (Or Similar)</p>
	<p><b>MT-04</b></p> <p><b>Material:</b> Perforated Aluminum Panel Balcony</p> <p><b>Color:</b> Black</p> <p><b>Finish:</b> Painted</p> <p><b>Manufacturer:</b> CRL US Aluminum (Or Similar)</p>
	<p><b>MT-05</b></p> <p><b>Material:</b> Aluminum Louver Grate</p> <p><b>Color:</b> Grey</p> <p><b>Finish:</b> Matte</p> <p><b>Manufacturer:</b> Grating Pacific (Or Similar)</p>
	<p><b>MT-06</b></p> <p><b>Material:</b> Cable Guard Railing</p> <p><b>Color:</b> Black</p> <p><b>Finish:</b> Prefinished</p> <p><b>Manufacturer:</b> Real Craft (Or Similar)</p>
	<p><b>MT-07</b></p> <p><b>Material:</b> Metal Sun Shade</p> <p><b>Color:</b> Dark Grey</p> <p><b>Finish:</b> Prefinished</p> <p><b>Manufacturer:</b> Aosida (Or Similar)</p>

**PAINTED STUCCO**

	<p><b>P-01</b></p> <p><b>Material:</b> Perma-Flex Stucco Grade</p> <p><b>Color:</b> White</p> <p><b>Finish:</b> Fine-Acrylic</p> <p><b>Manufacturer:</b> LaHabra (Or Similar)</p>
	<p><b>P-02</b></p> <p><b>Material:</b> Perma-Flex Stucco Grade</p> <p><b>Color:</b> Grey</p> <p><b>Finish:</b> Fine-Acrylic</p> <p><b>Manufacturer:</b> LaHabra (Or Similar)</p>
	<p><b>P-03</b></p> <p><b>Material:</b> Perma-Flex Stucco Grade</p> <p><b>Color:</b> Dark Grey</p> <p><b>Finish:</b> Fine-Acrylic</p> <p><b>Manufacturer:</b> LaHabra (Or Similar)</p>
	<p><b>P-04</b></p> <p><b>Material:</b> Perma-Flex Stucco Grade</p> <p><b>Color:</b> Brown</p> <p><b>Finish:</b> Fine-Acrylic</p> <p><b>Manufacturer:</b> LaHabra (Or Similar)</p>
	<p><b>P-05</b></p> <p><b>Material:</b> Perma-Flex Stucco Grade</p> <p><b>Color:</b> Sandstone</p> <p><b>Finish:</b> Fine-Acrylic</p> <p><b>Manufacturer:</b> LaHabra (Or Similar)</p>
	<p><b>P-06</b></p> <p><b>Material:</b> Perma-Flex Stucco Grade</p> <p><b>Color:</b> Jet Grey</p> <p><b>Finish:</b> Fine-Acrylic</p> <p><b>Manufacturer:</b> LaHabra (Or Similar)</p>

**SIDING**

	<p><b>SD-01</b></p> <p><b>Material:</b> Lap Siding</p> <p><b>Color:</b> Cavalry</p> <p><b>Finish:</b> Cedar Lap</p> <p><b>Manufacturer:</b> Allura USA (Or Similar)</p>
	<p><b>SD-02</b></p> <p><b>Material:</b> Lap Siding</p> <p><b>Color:</b> Cedar</p> <p><b>Finish:</b> Cedar Lap</p> <p><b>Manufacturer:</b> Allura USA (Or Similar)</p>

**LONG TERM BIKE STORAGE**



**DERO DECKER**

The Next Level of Parking

DERO DECKER is a revolutionary new way to store your bicycle. It's a secure, weather-resistant, and easy-to-use system that allows you to store your bicycle vertically, saving space and protecting your investment. The rack is made of heavy-duty steel and is designed to hold up to 10 bicycles. It's perfect for use in garages, basements, or outdoors. The rack is easy to install and is a great addition to any home or business.

**DERO DECKER**  
Submital Sheet

**GENERAL NOTES:**

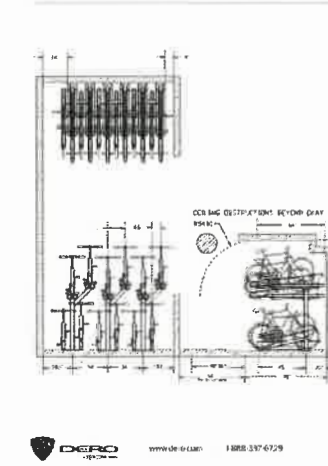
1. Material: Steel
2. Finish: Powder Coat
3. Color: Black
4. Manufacturer: Dero Decker

**INSTALLATION INSTRUCTIONS:**

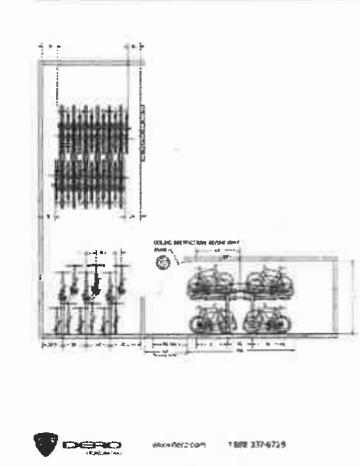
1. Mounting: Mount the rack to a wall or ceiling using the provided hardware.
2. Clearance: Ensure there is sufficient clearance for the bicycles to be stored.
3. Safety: Do not exceed the weight capacity of the rack.

**CONTACT:** 1-888-337-6729

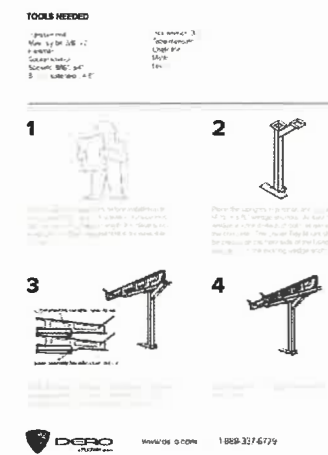
**DERO DECKER**  
Installation Instructions - Setbacks, Single Sided



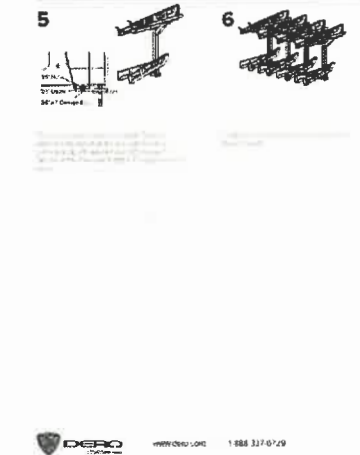
**DERO DECKER**  
Installation Instructions - Setbacks, Double Sided



**DERO DECKER**  
Installation Instructions



**DERO DECKER**  
Installation Instructions



architect  
**ACMARTIN**  
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LOS ANGELES CA 90071 T 213 483 1900

stamp

consultant



CITY OF LOS ANGELES, DEPARTMENT OF BUILDING AND SAFETY

PRELIMINARY ZONING ASSESSMENT COMPLETE

BY: Caleb Wong

DATE: 10/05/2023

APPLICATION #: 23010-10000-01865

project number 2207036  
project director  
project designer  
project architect

**21300 OXNARD ST. WARNER CENTER**  
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Los Angeles, CA 90064

**PHASE 1 & 2 - MATERIAL AND BIKE RACK SPEC SHEET**

**A3.1**

plot date 10/3/2023 10:29:34 AM

**EXHIBIT "A"**  
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OCT 30 2023

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**EXHIBIT "A"**

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DOB-588-HLA-WL-FO1

OCT 30 2023

**21300 OXNARD  
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sheet name

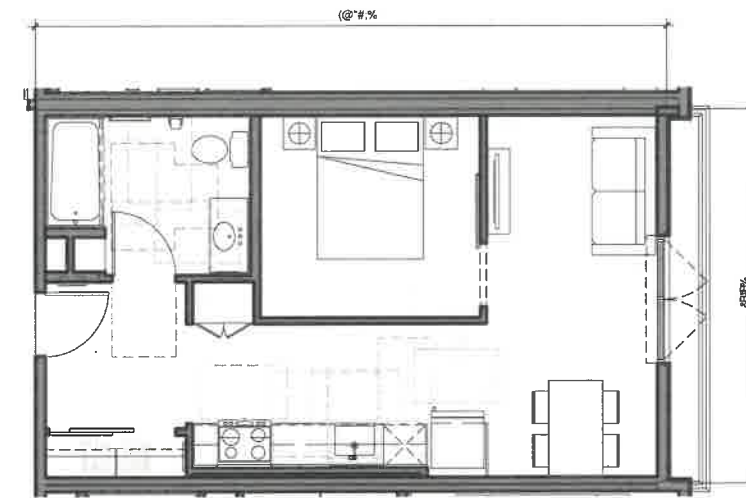
**PHASE 1&2 -  
 TYPICAL UNIT  
 PLAN**

sheet number

**A3.2**

plot date 8/30/2023 4:51:03 PM

TYPICAL UNIT MAY HAVE VARIATIONS  
 AT DIFFERENT LOCATION



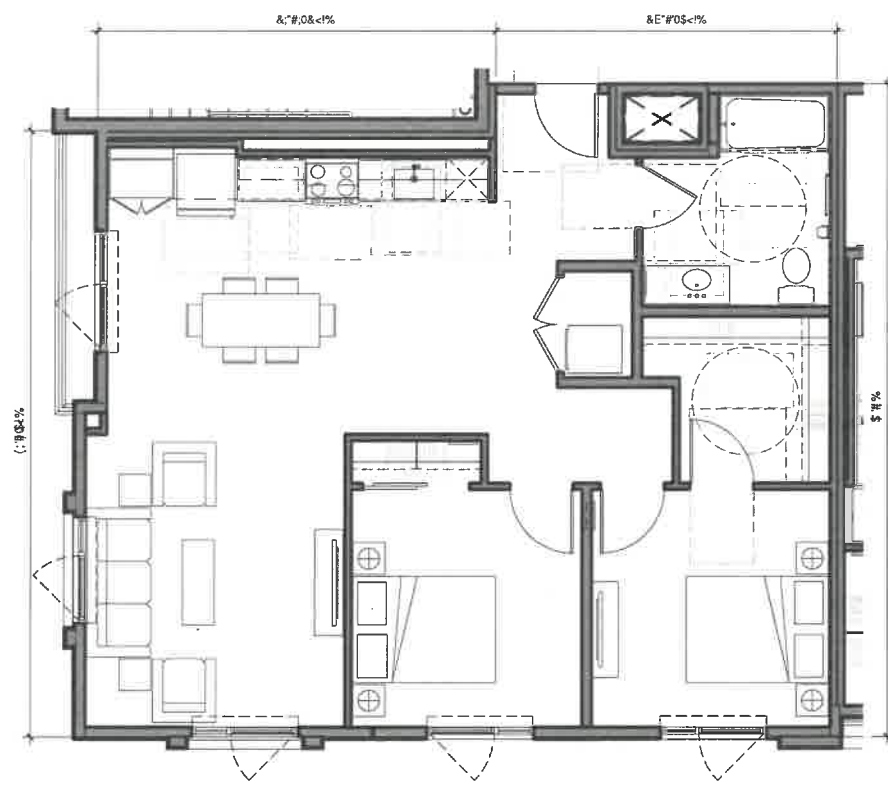
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**TYPICAL UNIT S1**  
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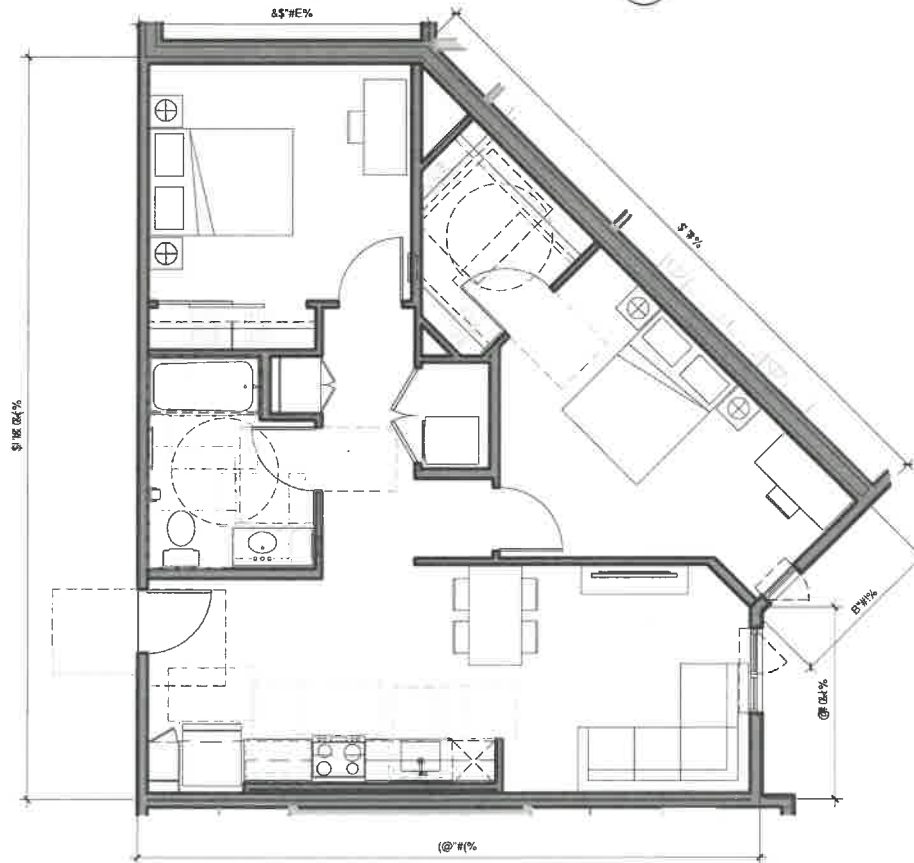
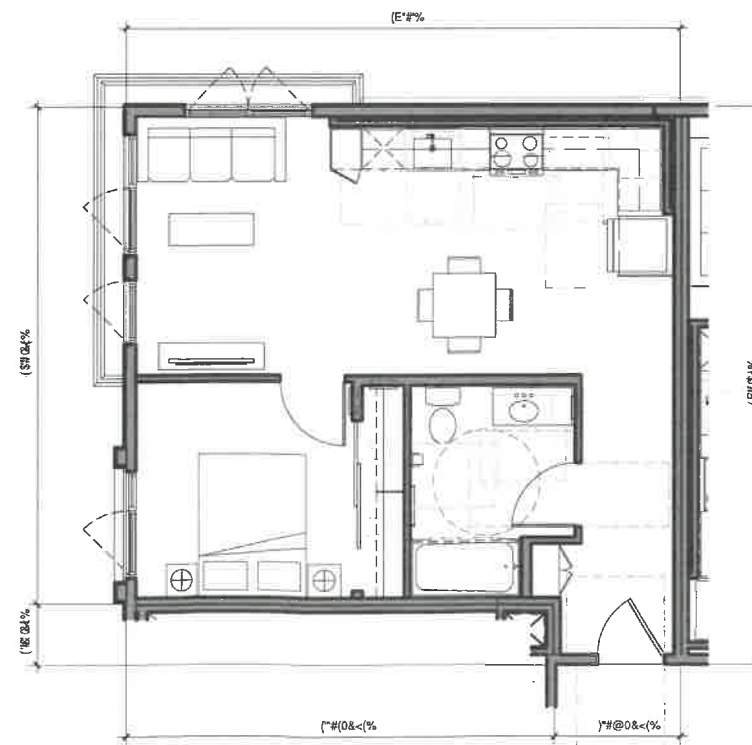
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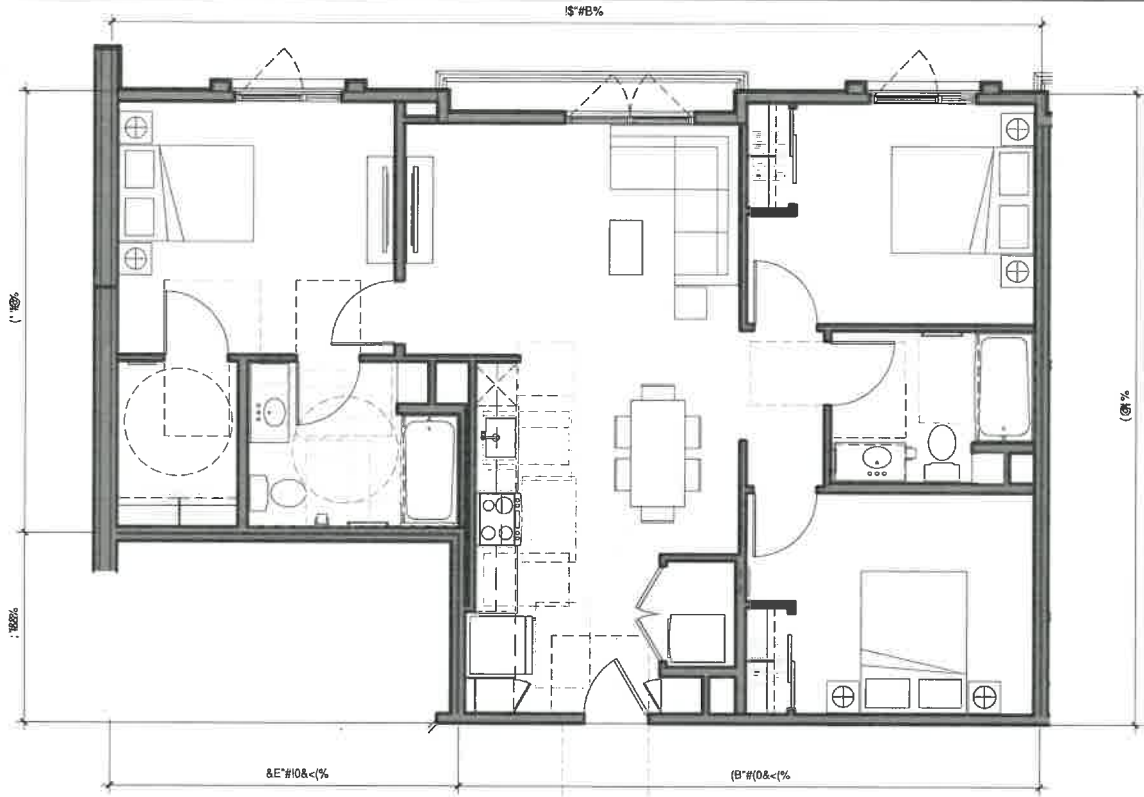


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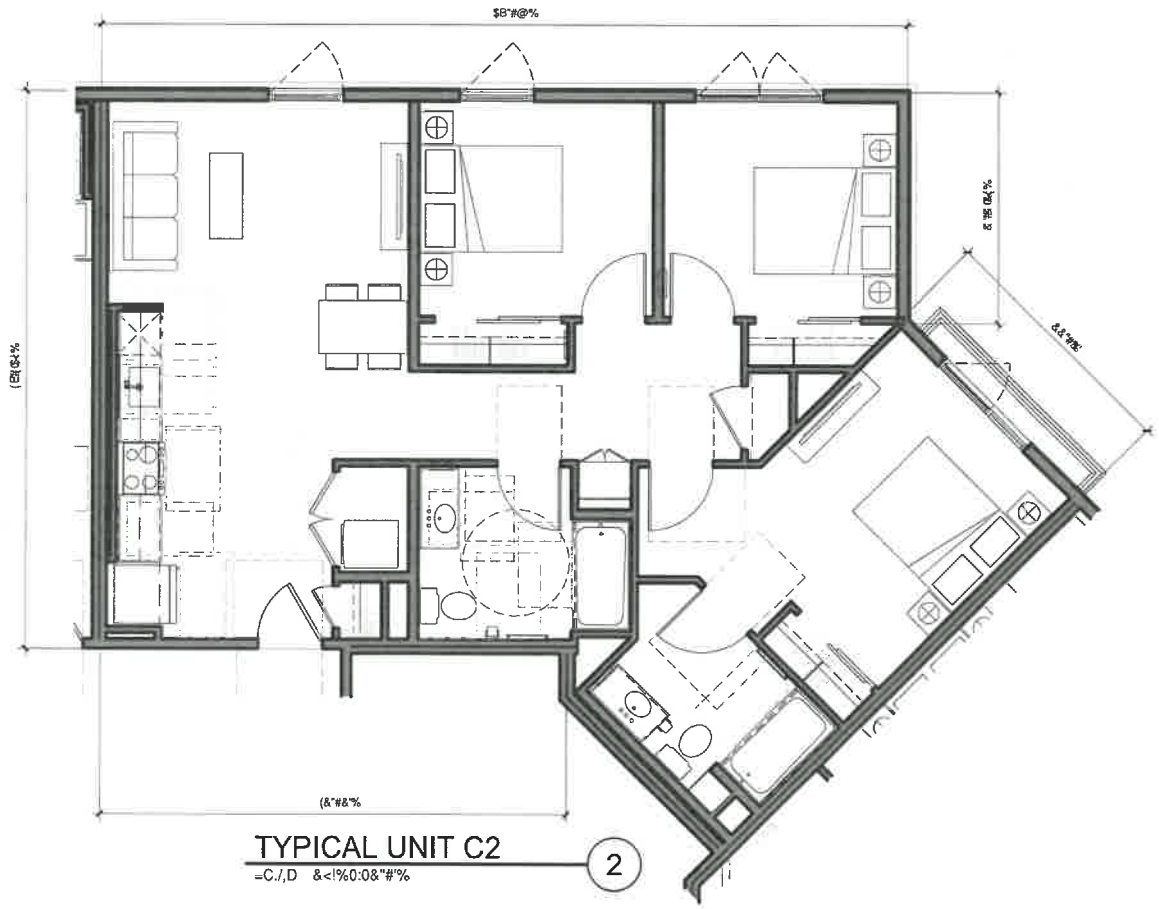
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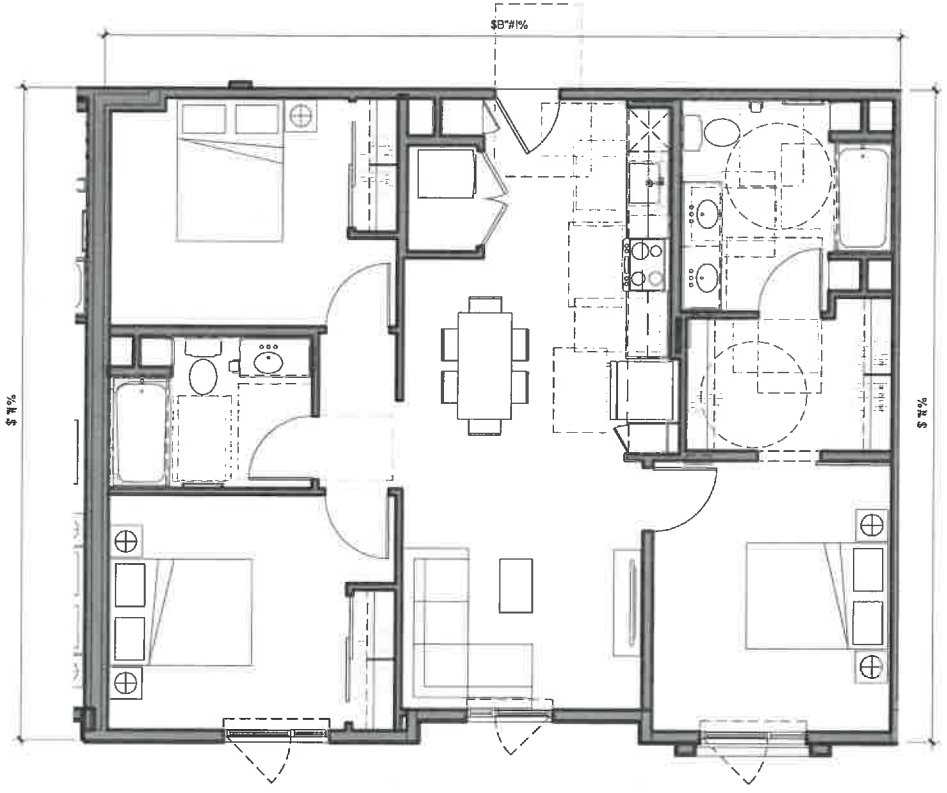
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TYPICAL UNIT C3  
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TYPICAL UNIT C1  
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architect  
**AC MARTIN**  
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LOS ANGELES CA 90071 T 213 683 1900

stamp

consultant

project number 2207036  
project director  
project designer  
project architect

**EXHIBIT "A"**  
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Case No. ADM-2023-6353-  
DB-SYR-HCA-WL-EO)

OCT 30 2023

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Suite 620  
Los Angeles, CA 90064

sheet name

**PHASE 1& 2 -  
TYPICAL UNIT  
PLAN**

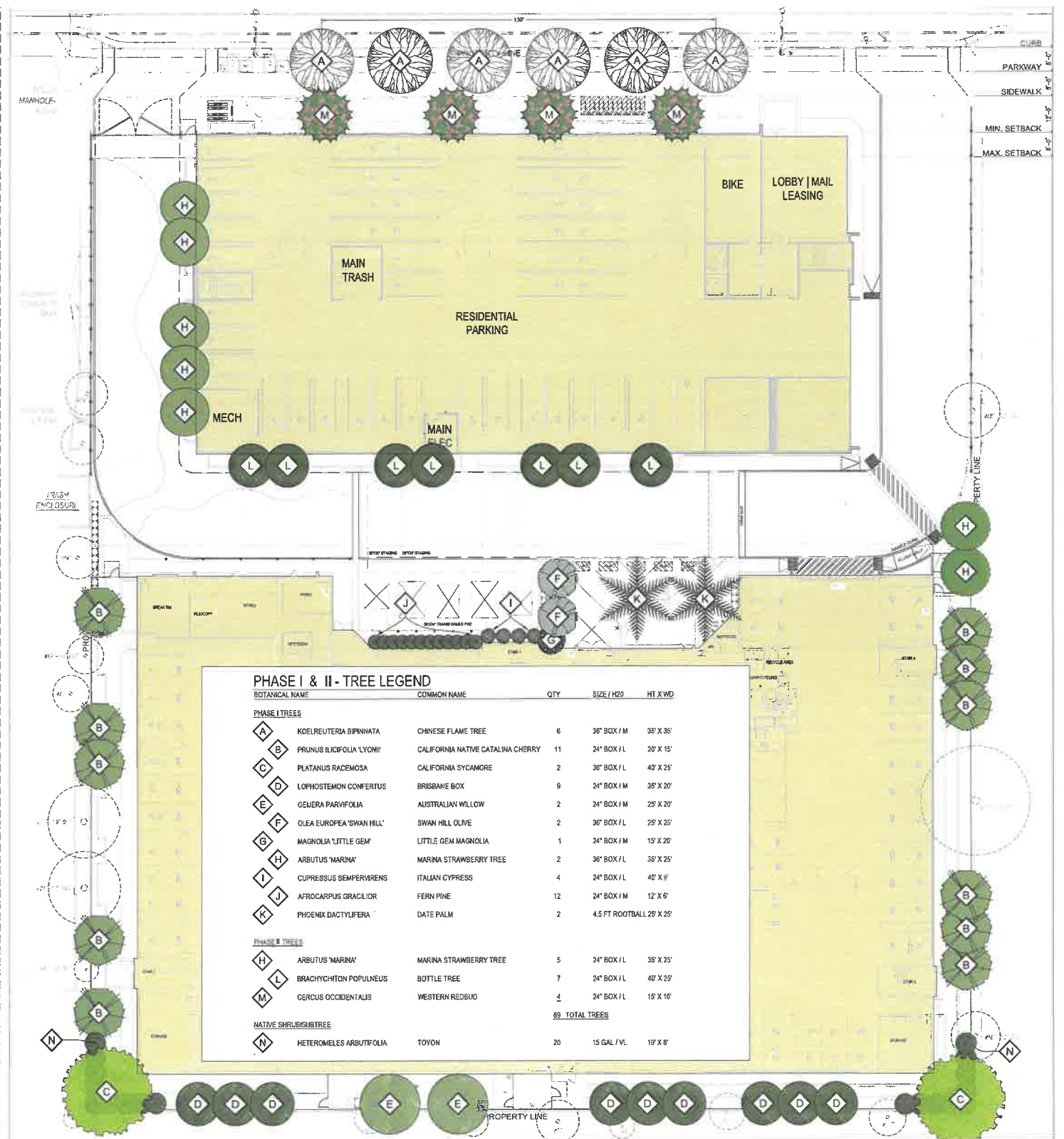
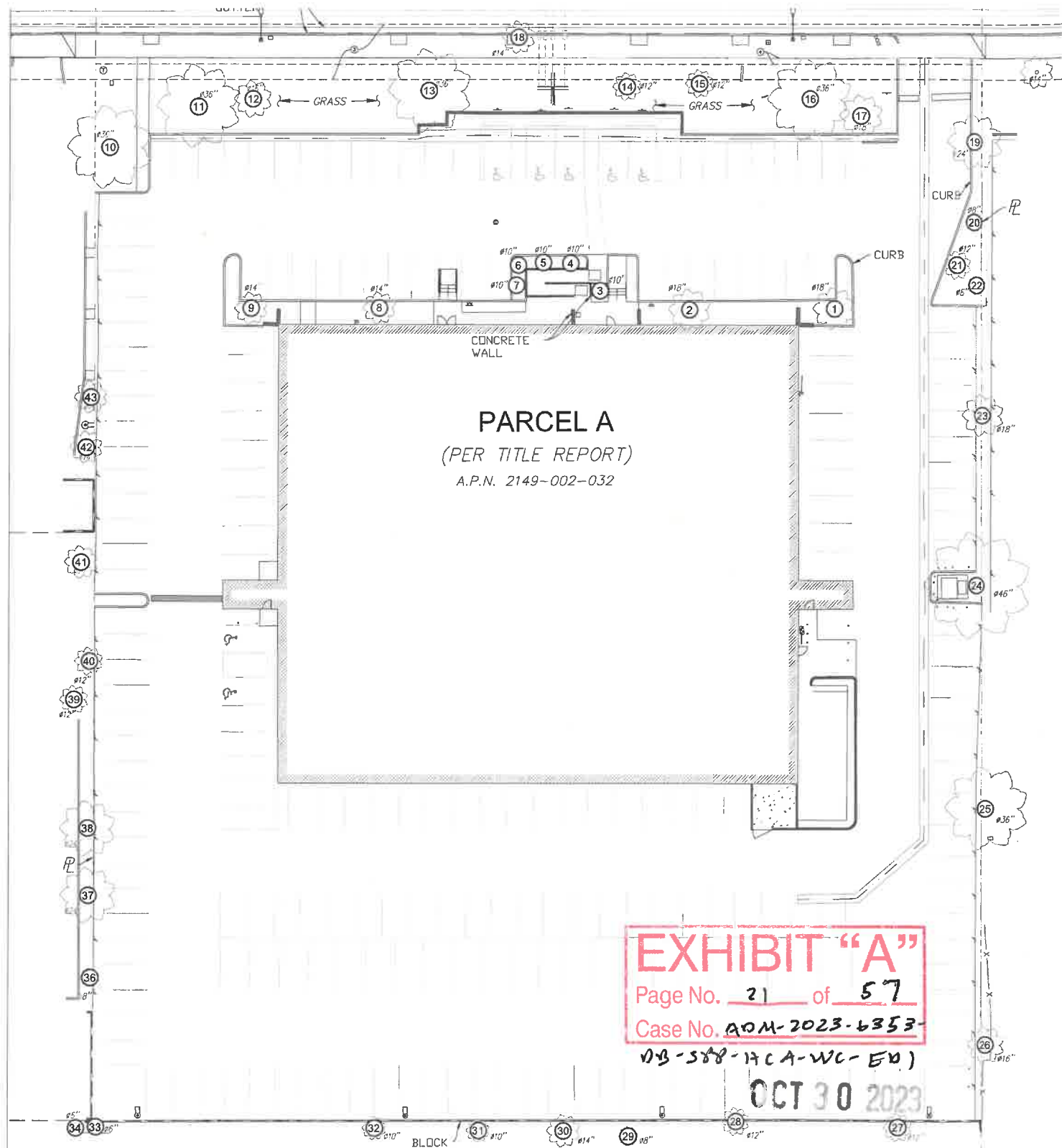
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**A3.3**

TYPICAL UNIT MAY HAVE VARIATIONS  
AT DIFFERENT LOCATION

plot date 8/30/2023 4:51:06 PM

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**EXISTING SITE SURVEY**

**EXISTING TREE REMOVAL**

ON-SITE TREES REMOVED:  
 - 1 STREET TREE (#18)  
 - 22 ON-SITE TREES #1 THRU #17, #19 THRU #22 & #24

TOTAL: - 23 TREES REMOVED (SEE ARBORIST REPORT)

CITY REQMT: 2 TO 1 REPLACEMENT  
 23 TREES X 2 = 46 REPLACEMENT TREES

**TREE REPLACEMENT**

REPLACEMENT TREES - PHASE 1 INCLUDING STREET TREES:  
 - 47 TREES AROUND PHASE 1 BLDG - GROUND FLOOR  
 - 6 STREET TREES

TOTAL: 53 TREES

REPLACEMENT TREES - PHASE 2  
 - 16 TREES AROUND PHASE 2 BLDG - GROUND FLOOR  
 TOTAL: 16 TREES

GRAND TOTAL FOR BOTH PROJECTS (GROUND FLOOR ONLY): 69 TREES

**PROPOSED PHASE I & II**

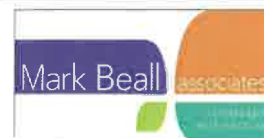
**TREES ON 3RD FLOOR PODIUM DECKS (NOT COUNTED)**

PHASE 1 COURTYARD: 12 TREES  
 PHASE 2 COURTYARD: 12 TREES

ADDITIONAL TREES: 24 TREES

**TREE PROTECTION**

20 TREES ON NEIGHBORING PROPERTY PROTECTED DURING NEW CONSTRUCTION FOLLOWING ARBORIST REPORT RECOMMENDATIONS.



7033 W Sunset Blvd, Suite 216 Los Angeles, CA 90028-7626 Telephone: 323-683-1450 Email: info@mosell.com

**WARNER CENTER - PHASES I & II**

21300 W OXNARD STREET

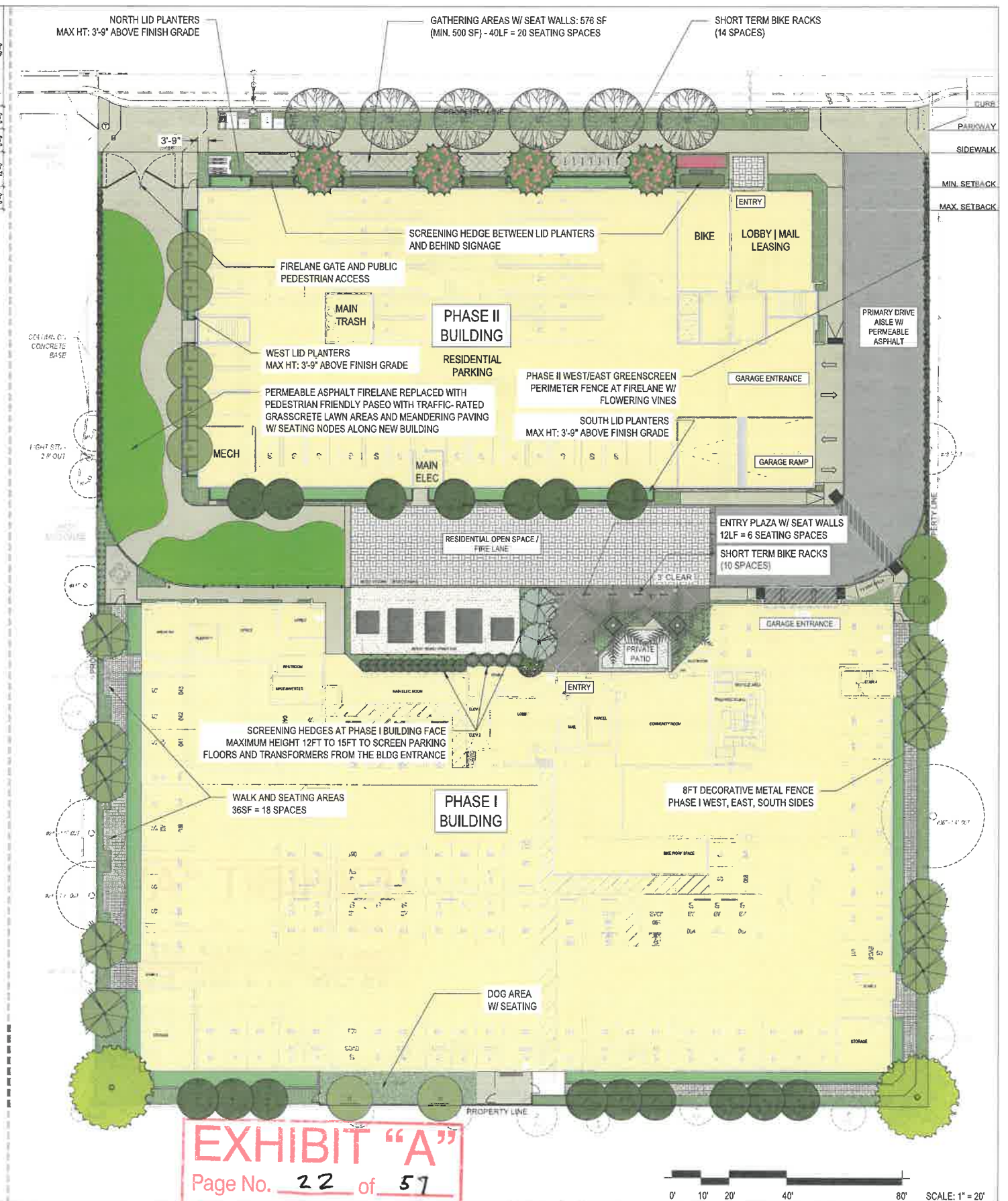
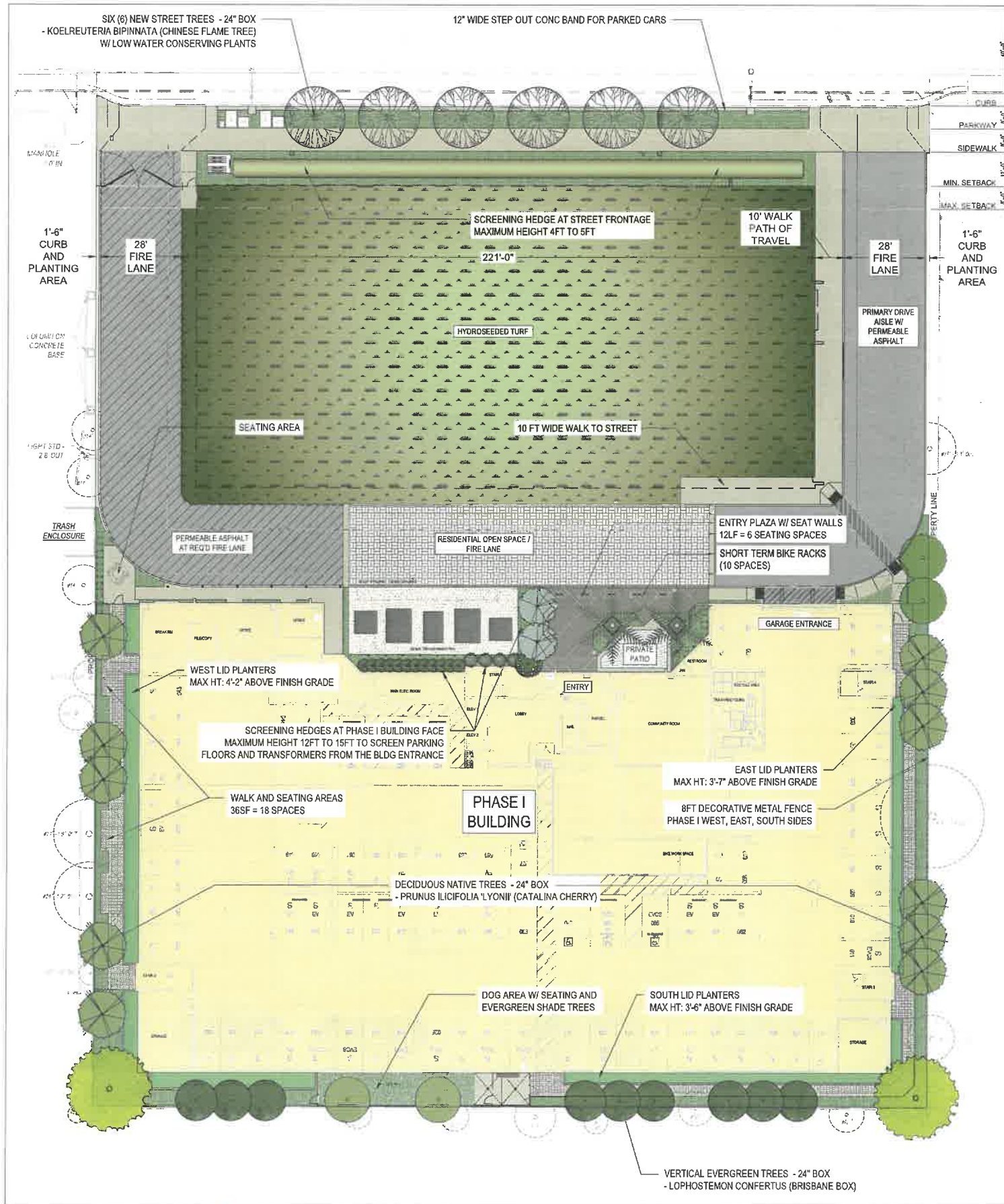
WOODLAND HILLS, CALIFORNIA

**TREE PROTECTION AND REPLACEMENT**

11150 W OLYMPIC BLVD, STE 620, LOS ANGELES, CA 90064

**LP-0**

September 15, 2023



**EXHIBIT "A"**  
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0' 10' 20' 40' 80' SCALE: 1" = 20'



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# WARNER CENTER - PHASES I & II

21300 W OXNARD STREET WOODLAND HILLS, CALIFORNIA

# SCHEMATIC LANDSCAPE

11150 W OLYMPIC BLVD, STE 620, LOS ANGELES, CA 90064

OCT 30 2023

LP-1

September 15, 2023

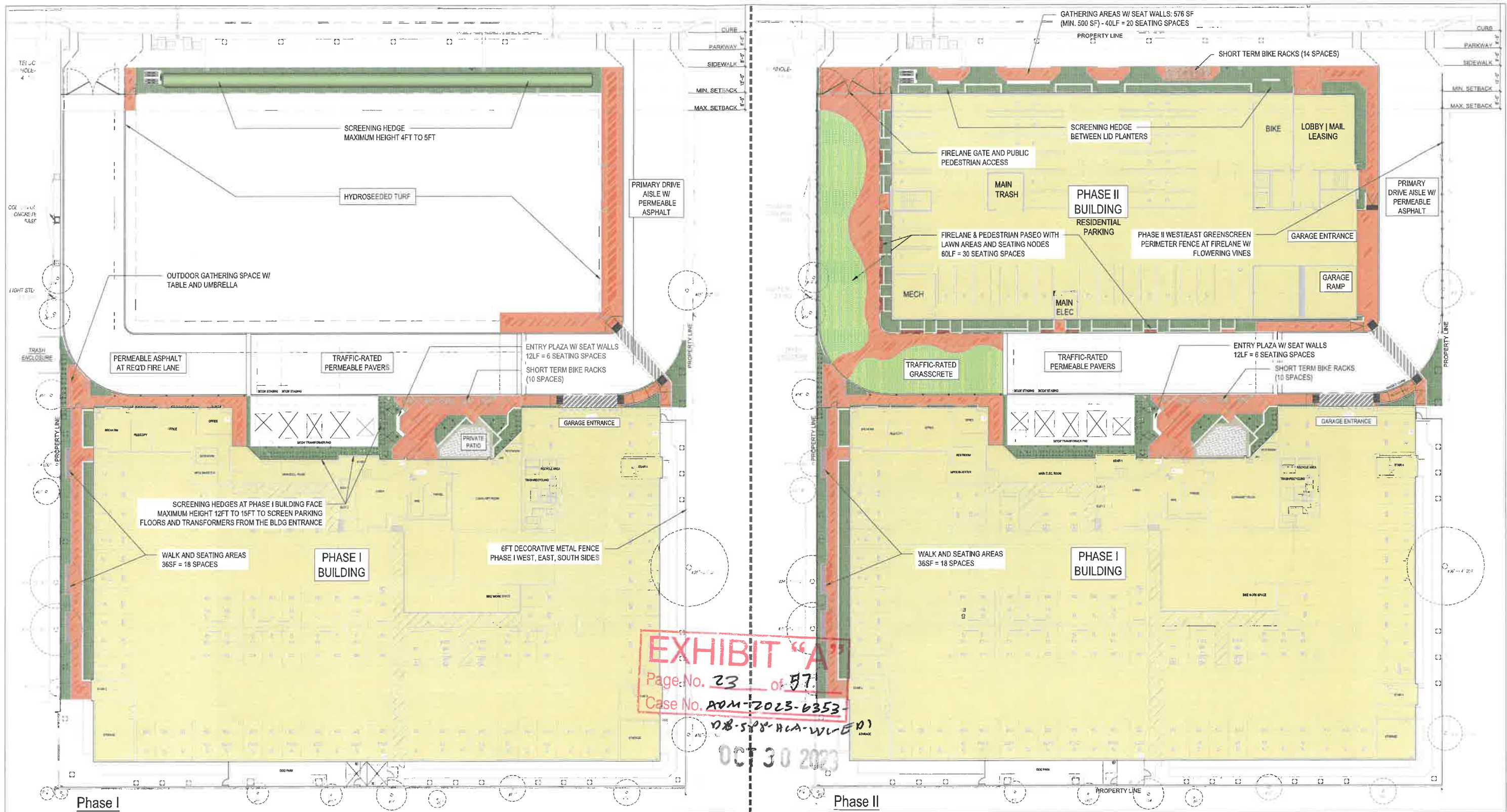


EXHIBIT "A"

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Case No. DOM-2023-6353

DB-SPR-HCA-WLEP

OCT 30 2023

PHASE I			
SITE AREA:	98,013 SF	(AFTER STREET DEDICATION)	
REQUIRED PAOS - 15%:	14,702 SF		
PROVIDED PAOS:	8,436 SF		
LANDSCAPING	AREA	REQ'D	PROPOSED
SETBACK (30%)	3,479 SF	1,044 SF	2,483 SF (71.4%)
SEATING (1 SEAT PER 500SF PAOS)	8,436 SF	16	24
PAOS (50% MIN)	8,436 SF	4,169 SF	4,915 SF (58.3%)

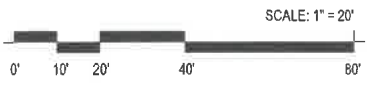
WC 2035 REQUIREMENTS	
30% MIN OF SETBACK ALONG STREET LANDSCAPED	
1 SEAT FOR EVERY 500 SF OPEN SPACE (ONE SEAT = 2LF OF BENCH / SEAT WALL)	
50% OF PAOS LANDSCAPE - 55.4% LANDSCAPED AT END OF PHASE II	
COVERED PAOS - 2.3% COVERED	

**IRRIGATION NOTE:**  
 ALL NEWLY PLANTED AREAS WITHIN THE PROJECT SHALL BE SERVICED BY AN AUTOMATIC IRRIGATION SYSTEM AND CONFORM TO THE CITY AND STATE WATER CONSERVATION REQUIREMENTS. IRRIGATION SYSTEM AND PLANTING DESIGN SHALL BE HYDROZONED FOR MATCHED WATER REQMTS

IRRIGATION SYSTEM WILL BE COMPRISED OF A DEDICATED WATER METER, SMART CONTROLLER WITH RAIN SENSOR, DRIP SYSTEM, AND DEEP ROOT BUBBLERS TO TREES.

PHASE II			
SITE AREA:	98,013 SF	(AFTER STREET DEDICATION)	
REQUIRED PAOS - 15%:	14,702 SF		
PROVIDED PAOS:	16,392 SF		
LANDSCAPING	AREA	REQ'D	PROPOSED
SETBACK (30%)	3,479 SF	1,044 SF	1,610 SF (46.3%)
SEATING (1 SEAT PER 500SF PAOS)	16,392 SF	33	72
PAOS (50% MIN)	16,392 SF	8,158 SF	9,100 SF (55.5%)

LEGEND	
<span style="display: inline-block; width: 15px; height: 15px; background-color: #e67e22; border: 1px solid black;"></span>	HARDSCAPE
<span style="display: inline-block; width: 15px; height: 15px; background-color: #27ae60; border: 1px solid black;"></span>	PLANTING AREAS
<span style="display: inline-block; width: 15px; height: 15px; background-color: #2ecc71; border: 1px solid black;"></span>	LID PLANTERS
<span style="display: inline-block; width: 15px; height: 15px; background-color: #95a5a6; border: 1px solid black;"></span>	GRASSCRETE



## WARNER CENTER - PHASES I & II

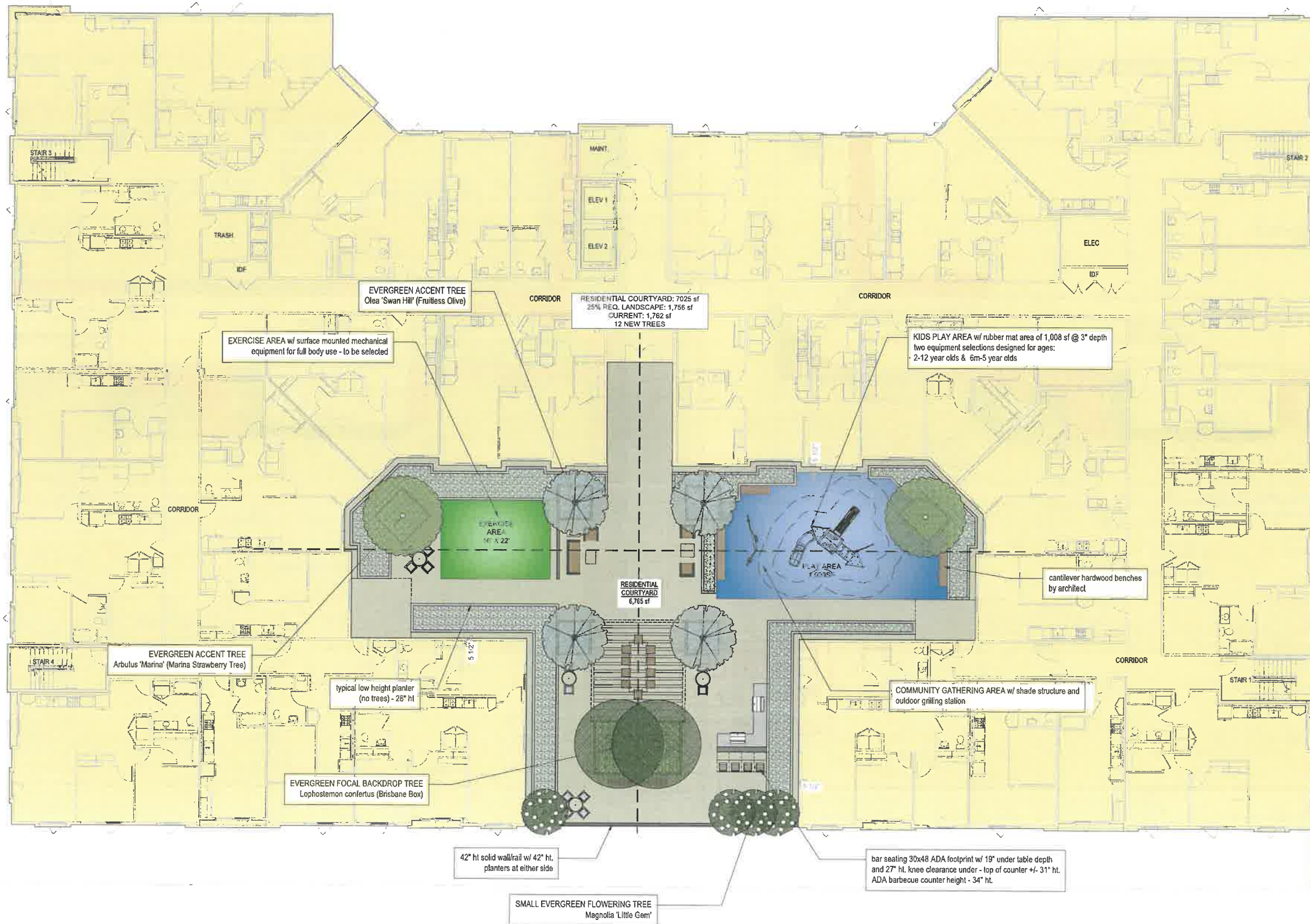
21300 W OXNARD STREET  
WOODLAND HILLS, CALIFORNIA

## WARNER CENTER - PAOS & SEATING

11150 W OLYMPIC BLVD, STE 620, LOS ANGELES, CA 90064

LP-2

September 15, 2023



PLAY TOWER W SLIDES - AGES 2-12



PLAY PANEL 3 - AGES 6M-5

OCT 30 2023

**EXHIBIT "A"**  
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 WB-SYP-HCA-WC-ED1



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# WARNER CENTER - PHASES I & II

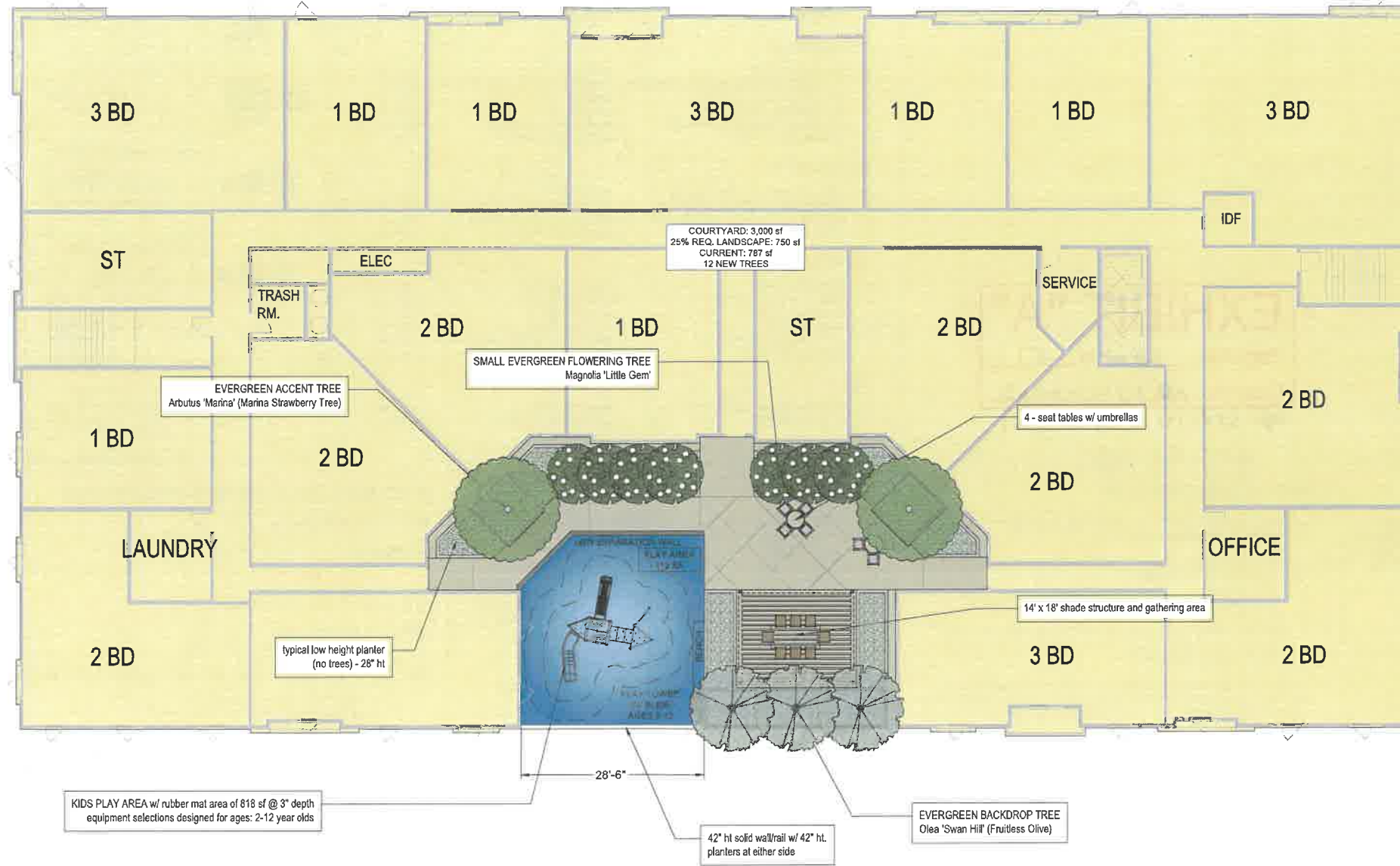
21300 W OXNARD STREET

WOODLAND HILLS, CALIFORNIA

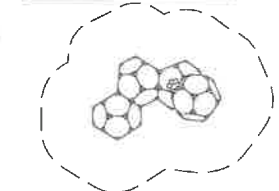
## PHASE I 3RD FLOOR - LANDSCAPE CONCEPT

LP-3

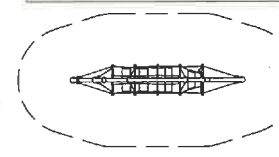
September 15, 2023



ALTERNATIVES



BLOQX 4 - AGES 5-15



PERFORMER ARCH - AGES 5-12

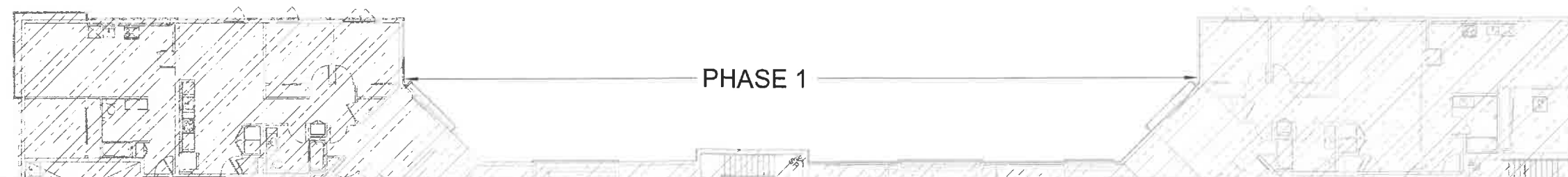
**EXHIBIT "A"**

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Case No. ADM-2023-6253

*DB-SYP-HCA-WC-ED*

OCT 30 2023



0' 5' 10' 20' 40' SCALE: 1" = 10'



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**WARNER CENTER - PHASES I & II**

21300 W OXNARD STREET

WOODLAND HILLS, CALIFORNIA

**PHASE II 3RD FLOOR - LANDSCAPE CONCEPT**

**LP-4**

September 15, 2023

### SCHEMATIC SHRUB, VINE, AND GROUND COVER LEGEND

BOTANICAL NAME	COMMON NAME	SIZE / H20
<b>LARGE / SCREENING SHRUBS</b>		
• ELAEAGNUS PUNGENS 'FRUITLANDI'	FRUITLAND SILVERBERRY	5 GAL / L
• LAURUS NOBILIS	BAY LAUREL	15 GAL / L
• LEUCOPHYLLUM FRUTESCENS	TEXAS RANGER	5 GAL / L
• PRUNUS ILICIFOLIA LYONII	CATALINA CHERRY	15 GAL / L
• RHAPHIOLEPIS INDICA 'MAJESTIC BEAUTY'	MAJESTIC BEAUTY INDIAN HAWTHORN	15 GAL / M
• TEUCRIUM FRUTICANS	AZURE BUSH GERMANDER	5 GAL / L
<b>MEDIUM SHRUB MASSES</b>		
• CISTUS PURPUREUS	ORCHID ROCKROSE	5 GAL / L
• LEUCOPHYLLUM LANGMANIAE 'LYNN'S LEGACY'	LYNN'S EVERBLOOMING TEXAS SAGE	5 GAL / L
• MYRTUS COMMUNIS 'COMPACTA'	COMPACT COMMON MYRTLE	5 GAL / M
• OLEA EUROPAEA 'LITTLE OLLIE'	DWARF OLIVE	5 GAL / L
• RHAPHIOLEPIS UMBELLATA 'MINOR'	DWARF YEDDO HAWTHORN	5 GAL / M
• WESTRINGIA FRUTICOSA	AUSTRALIAN ROSEMARY	5 GAL / L
<b>SPREADING SHRUBS</b>		
• BACCHARIS X 'STARN THOMPSON'	HYBRID STERILE COYOTE BUSH	1 GAL / L
• CARISSA MACROCARPA 'GREEN CARPET'	GREEN CARPET NATAL PLUM	1 GAL / M
• COTONEASTER DAMMERI 'CORAL BEAUTY'	CORAL BEAUTY COTONEASTER	1 GAL / M
• ROSMARINUS OFFICINALIS 'PROSTRATA'	PROSTRATE ROSEMARY	1 GAL / L
<b>GRASSES, SUCCULENTS, AND ACCENTS</b>		
• ALOE BARBADENSIS	YELLOW TORCH ALOE	1 GAL / L
• DIANELLA REVOLUTA 'LITTLE REV'	LITTLE REV FLAX LILY	5 GAL / L
• EUPHORBIA RIGIDA	GOPHER PLANT	1 GAL / L
• JUNCUS PATENS	CALIFORNIA RUSH	1 GAL / L
• LOMANDRA LONGIFOLIA 'BREEZE'	BREEZE SPINY HEADED MAT RUSH	1 GAL / M
• ROSA 'RED MEIDLAND'	RED MEIDLAND CARPET ROSE	5 GAL / M
<b>VINES</b>		
• PANDOREA JASMINOIDES 'ROSEA'	PINK BOWER VINE	5 GAL / M
• VITIS CALIFORNICA	CALIFORNIA WILD GRAPE	5 GAL / L



### PHASE I & II - TREE LEGEND (SITE & 3RD FLOOR COURTYARDS)

BOTANICAL NAME	COMMON NAME	QTY	SIZE / H20	HT X WD
<b>STREET TREE - OXNARD STREET</b>				
• KOELREUTERIA BIPINNATA	CHINESE FLAME TREE	6	36" BOX / M	35' X 35'
<b>VERTICAL HEIGHT PALMS</b>				
• PHOENIX DACTYLIFERA	DATE PALM	2	4.5' SQ ROOTB	25' X 25'
<b>CALIFORNIA NATIVE TREES</b>				
• PRUNUS ILICIFOLIA LYONII	CATALINA CHERRY	11	24" BOX / L	20' X 15'
• PLATANUS RACEMOSA	CALIFORNIA SYCAMORE	2	36" BOX / L	40' X 25'
<b>VERTICAL EVERGREEN TREES</b>				
• LOPHOSTEMON CONFERTUS	BRISBANE BOX	18	24" BOX / M	35' X 20'
• BRACHYCHTON POPULNEUS	BOTTLE TREE	0	24" BOX / L	40' X 25'
• AFROCARPUS GRACILIOR	FERN PINE	12	24" BOX / M	15' X 8'
<b>EVERGREEN SHADE TREES</b>				
• AGONIS FLEXUOSA	PEPPERMINT TREE	0	24" BOX / L	30' X 25'
• ARBUTUS 'MARINA'	MARINA STRAWBERRY TREE	6	24" & 36" BOX / M	35' X 25'
• CUPRESSUS SEMPERVIRENS	ITALIAN CYPRESS	4	24" BOX / L	40' X 8'
• GEUERA PARVIFOLIA	AUSTRALIAN WILLOW	7	24" BOX / M	25' X 20'
• OLEA EUROPAEA 'SWAN HILL'	SWAN HILL OLIVE	9	24" & 36" BOX / L	25' X 25'
<b>SMALL FLOWERING ACCENT TREES</b>				
• CERCIS OCCIDENTALIS	WESTERN REDBUD	4	24" BOX / L	20' X 15'
• CHILOPSIS LINEARIS 'BUBBA'	BUBBA DESERT WILLOW	0	24" BOX / L	25' X 25'
• LAGERSTROEMIA X 'MUSKOGEE'	LAVENDER CRAPE MYRTLE	0	24" BOX / M	25' X 15'
• MAGNOLIA GRANDIFLORA 'LITTLE GEM'	LITTLE GEM SOUTHERN MAGNOLIA	12	36" BOX / M	25' X 15'
<b>TOTAL TREES FOR PHASE I &amp; PHASE II (SITE (70) &amp; 3RD FLOOR COURTYARDS (24))</b>				<b>93</b>

**EXHIBIT "A"**  
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DB-STY-ITCA-WC-EP  
**OCT 30 2023**

#### DROUGHT TOLERANT PLANTING:

A MINIMUM OF 75% OF TREES AND SHRUBS ARE CHOSEN FROM THE COUNTY OF LOS ANGELES DROUGHT TOLERANT LIST AND THE STATE OF CALIFORNIA WUCOLS (WATER USE CLASSIFICATION OF LANDSCAPE SPECIES) LIST AND ARE DESIGNATED AS EITHER VERY LOW, LOW, OR MEDIUM WATER USE IN THE FOLLOWING PERCENTAGES. NO PLANTS ARE SELECTED FROM HIGH WATER USE CLASSIFICATION. SEE CHART BELOW:

VERY LOW WATER USE:	5%
LOW WATER USE:	75%
MEDIUM WATER USE:	20%

#### IRRIGATION AND LANDSCAPE DESIGN NOTES

- LANDSCAPE SHALL ADHERE TO THE CITY OF HIGHLAND MUNICIPAL CODE 16.40
- IRRIGATION SHALL BE WATER CONSERVING AND CONFORM TO THE STATE OF CALIFORNIA AB1881 MWELO REQUIREMENTS.
- PLANTS SHALL BE GROUPED INTO HYDROZONES UTILIZING THE WUCOLS (WATER USE CLASSIFICATION OF LANDSCAPE SPECIES) LIST AND 75% OF THE TOTAL QUANTITY OF PLANTS SHALL BE CLASSIFIED AS LOW WATER USE.
- ALL LANDSCAPE AREAS SHALL BE EITHER A 1" MINIMUM LAYER OF DECOMPOSED GRANITE OR DECORATIVE COBBLE OR BE HEAVILY MULCHED WITH A 3" MINIMUM DEPTH OF A SHREDDED WOOD MULCH AT THE END OF CONSTRUCTION.
- INSTALL HIGH EFFICIENCY IRRIGATION SYSTEM WITH SMART CLOCK CONTROLS.
- TURF AREAS ARE EXCLUDED FROM THIS SITE (0%) IN FAVOR OF DROUGHT TOLERANT PLANTINGS.

#### DROUGHT TOLERANT PLANTING:

A MINIMUM OF 75% OF TREES AND SHRUBS ARE CHOSEN FROM THE COUNTY OF LOS ANGELES DROUGHT TOLERANT LIST AND THE STATE OF CALIFORNIA WUCOLS (WATER USE CLASSIFICATION OF LANDSCAPE SPECIES) LIST AND ARE DESIGNATED AS EITHER VERY LOW, LOW, OR MEDIUM WATER USE IN THE FOLLOWING PERCENTAGES. NO PLANTS ARE SELECTED FROM HIGH WATER USE CLASSIFICATION. SEE CHART BELOW:

VERY LOW WATER USE:	5%
LOW WATER USE:	75%
MEDIUM WATER USE:	20%

#### INVASIVE PLANT NOTE:

NO INVASIVE SPECIES SHALL BE PLANTED ON SITE. INVASIVE SPECIES ARE THOSE DEFINED BY THE CALIFORNIA INVASIVE PLANT COUNCIL (CAL-IPC) AND FOUND AT [HTTP://WWW.CAL-IPC.ORG/BIP/INVENTORY/WEEDLIST.PHP](http://www.cal-ipc.org/BIP/INVENTORY/WEEDLIST.PHP).

#### STREET TREE SELECTION GUIDE

- REQUEST A PLANTING PERMIT BY CALLING 3-1-1 OR THE BUREAU OF STREET SERVICES REQUEST CENTER AT (800) 996-2489.
- THE URBAN FORESTRY DIVISION (UFD) WILL CONTACT YOU AND SET AN INSPECTION DATE. INSPECTION WILL DETERMINE:
  - TREE SPECIES
  - TREE PLANTING LOCATION(S) WHICH WILL BE MARKED ON CURB.
  - NUMBER OF TREES
  - PLEASE NOTE THAT REPLANTING MAY NOT BE PERMISSIBLE DUE TO THE EXISTENCE OF POWER POLES, METERS, DRIVEWAYS, ETC. (IN WHICH CASE A PERMIT WOULD NOT BE ISSUED).
- UFD ARBORIST WILL ISSUE A TREE PLANTING PERMIT WITH ALL PERTINENT INFORMATION (INCLUDING TREE PLANTING SPECIFICATIONS). YOU MAY NOW SELECT THE NURSERY FROM WHICH YOU WILL OBTAIN THE NECESSARY TREE SPECIES AND CONTAINER SIZE.
- UPON SELECTION, CONTACT UFD AT (213) 485-8470 SO AN INSPECTOR MAY REVIEW THE TREE AT THE NURSERY AND TAG IT IF APPROVED.
- SET UP TREE DELIVERY.
- TREE MAY BE PLANTED BY RESIDENTS OR CONTRACTOR.
- YOU SHALL FIRST CONTACT DIGALERT AT (800) 227-2600 PRIOR TO EXCAVATION.
- PLEASE CONTACT THE INSPECTOR WHO ISSUED THE PERMIT NOT MORE THAN FIVE DAYS AFTER PLANTING. THE INSPECTOR WILL RE-INSPECT AND SIGN-OFF THE FINAL APPROVAL. THE GOAL OF UFD IS TO PROCESS TREE PLANTING PERMITS WITHIN THREE WORKING DAYS OF THE REQUEST.
  - FOR FURTHER INFORMATION, PLEASE CONTACT THE URBAN FORESTRY DIVISION (UFD) AT (213) 847-3077.

**NOTE**  
 ALL NEWLY PLANTED TREES MUST HAVE ROOT CONTROL BARRIER, STREET TREE DETAIL S-456-1 AND TREES OF 15 GAL OR 24" BOX SIZE MUST ALSO HAVE A 10" METAL TREE STAKE, STREET TREE DETAIL S-456-2. WHERE STREET TREES ARE PLANTED IN TREE WELLS, REFER TO TREE DETAIL S-450-2.

#### PHASE I - RIOS PLANT REQUIREMENT:

75% OF NEWLY LANDSCAPED AREA SHALL BE PLANTED WITH A COMBINATION OF:  
 - NATIVE TREES, PLANTS, AND SHRUBS, OR  
 - SPECIES DEFINED AS WATERSHED WISE, OR  
 - SPECIES LISTED IN THE LOS ANGELES COUNTY RIVER MASTER PLAN LANDSCAPING GUIDELINES AND PLANT PALETTES

TOTAL LANDSCAPE AREA WITHIN THE PROPERTY LINE:	12,546 SF
75% OF TOTAL LANDSCAPE AREA (REQUIRED):	9,410 SF

#### CITY OF LOS ANGELES - LANDSCAPE ORDINANCE

TOTAL SITE:	100,623 SF
WATER MANAGEMENT POINTS REQUIRED:	600 PTS
LANDSCAPE POINTS REQUIRED:	50 PTS

LANDSCAPE DESIGN SHALL CONFORM TO THE REQUIREMENTS SET FORTH IN THE LANDSCAPE ORDINANCE AND SHALL ACHIEVE MINIMUM POINTS AT TIME OF PLAN CHECK

#### LANDSCAPE MAINTENANCE:

LANDSCAPING SHALL BE MAINTAINED (WATERING, FERTILIZING, WEEDING, MOWING, PRUNING, ETC.) BY THE LANDOWNER IN ACCORDANCE WITH THE FOLLOWING: SITES SHALL BE KEPT CLEAN AND MAINTAINED AT ALL TIMES. WEEDS AND TRASH (WIND BLOWN OR OTHERWISE) SHALL NOT BE ALLOWED TO ACCUMULATE ON THE SITE. VEGETATION SHALL RECEIVE SUFFICIENT WATER AND OTHER REQUIRED CUSTOMARY CARE TO MAINTAIN HEALTH AND VIGOR TO THE MAXIMUM EXTENT POSSIBLE. PRUNING AND MOWING SHALL BE USED TO MAINTAIN PLANT HEALTH AND VIGOR WHILE ENHANCING ITS FORM AND STRUCTURE. ALL DEAD OR OBVIOUSLY UNHEALTHY PLANT MATERIAL SHALL BE REPLACED WITH NEW MATERIAL WHICH IS COMPARABLE TO ORIGINAL INSTALLATION.

#### IRRIGATION AND LANDSCAPE DESIGN NOTES

- LANDSCAPE SHALL ADHERE TO THE AMENDED CITY OF LOS ANGELES LANDSCAPE ORDINANCE L.A.M.C. 12.40-12.43.
- PLANTS SHALL BE GROUPED INTO HYDROZONES UTILIZING THE WUCOLS (WATER USE CLASSIFICATION OF LANDSCAPE SPECIES) LIST AND 75% OF THE TOTAL QUANTITY OF PLANTS SHALL BE CLASSIFIED AS LOW WATER USE.
- ALL LANDSCAPE AREAS SHALL BE EITHER A 1" MINIMUM LAYER OF DECOMPOSED GRANITE OR DECORATIVE COBBLE OR BE HEAVILY MULCHED WITH A 3" MINIMUM DEPTH OF A SHREDDED WOOD MULCH AT THE END OF CONSTRUCTION.
- INSTALL HIGH EFFICIENCY IRRIGATION SYSTEM WITH SMART CLOCK CONTROLS.
- NO EXISTING TREES TO BE PROTECTED ON SITE.
- SCREENING NOTE: VISUAL SCREENING SHALL BE PROVIDED FOR ALL ABOVE GROUND UTILITIES INCLUDING TRANSFORMERS, BACKFLOW ASSEMBLIES, PUMPS, WHILE MAINTAINING ACCESS FOR MAINTENANCE.

#### PHASE I BLDG - LANDSCAPE STATS & REQUIREMENTS

TOTAL LID PLANTER AREA: 1,756 SF

**TREES REMOVED:**  
 - 1 STREET TREE  
 - 22 ON-SITE TREES

- 23 TREES REMOVED (SEE ARBORIST REPORT)

**CITY REQMT:** 2 TO 1 REPLACEMENT  
 23 TREES X 2 = 46 REPLACEMENT TREES

**REPLACEMENT TREES - PHASE 1 W/ STREET TREES - (NOT COUNTING 3RD FLOOR COURTYARD)**

- 26 TREES ON W-S-E SIDES OF PHASE I BLDG
- 21 TREES IN PHASE I BLDG ENTRANCE COURTYARD
- 6 STREET TREES

**PHASE I TOTAL (GROUND FLOOR ONLY): 53 TREES**

**CITY OF LOS ANGELES MINIMUM TREE REQMT - PHASE 1**

1 TREE FOR EVERY 4 UNITS  
 173 UNITS / 4 = 43 TREES  
 TREE REQUIREMENT CAN BE COUNTED WITH REPLACEMENT TREES AND STREET TREES  
 THIRD FLOOR TREES (QTY: 12) NOT COUNTED TOWARD MINIMUM TREE REQUIREMENT

#### PHASE I BLDG - OPEN SPACE LANDSCAPE REQMTS

THIRD FLOOR COURTYARD COMMON SPACE:	7,025 SF
CITY REQMT: 25% OF COMMON OPEN SPACE SHALL BE LANDSCAPED:	1,756 SF
CURRENT DESIGN:	1,762 SF

#### CALCULATION FOR PAOS LANDSCAPE

*TOTAL SITE AREA:	100,623 SF
SITE AREA AFTER DEDICATION:	98,013 SF
PHASE I SITE AREA:	54,147 SF
PHASE II SITE AREA:	43,856 SF
PAOS - 15% AREA REQUIREMENT:	14,702 SF
PHASE I PAOS	8,436 SF
PHASE I & II PAOS COMBINED	16,392 SF

\*SEE ARCH DWGS FOR AREA CALCULATIONS

#### PHASE II BLDG - LANDSCAPE STATS & REQUIREMENTS

TOTAL LID PLANTER AREA: 892 SF

**TREE REMOVED:**  
 - 1 STREET TREE  
 - 22 ON-SITE TREES

TOTAL: - 23 TREES REMOVED

**CITY REQMT:** 2 TO 1 REPLACEMENT  
 23 TREES X 2 = 46 REPLACEMENT TREES

**REPLACEMENT TREES - PHASE 2 - (NOT COUNTING 3RD FLOOR COURTYARD)**

- 11 TREES ON W-S SIDES OF PHASE I BLDG
- 4 TREES SETBACK AREA

TOTAL: 16 TREES

**PHASE I & II TREES COMBINED (GROUND FLOOR ONLY): 69**

**CITY OF LOS ANGELES MINIMUM TREE REQMT - PHASE 2**

1 TREE FOR EVERY 4 UNITS  
 128 UNITS / 4 = 32 TREES  
 TREE REQUIREMENT CAN BE COUNTED WITH REPLACEMENT TREES AND STREET TREES  
 THIRD FLOOR TREES (QTY: 12) NOT COUNTED TOWARD MINIMUM TREE REQUIREMENT

#### PHASE II BLDG - OPEN SPACE LANDSCAPE REQMTS

THIRD FLOOR COURTYARD COMMON SPACE:	3,000 SF
CITY REQMT: 25% OF COMMON OPEN SPACE SHALL BE LANDSCAPED:	750 SF
CURRENT DESIGN:	787 SF

ALL PARKING LOT AREAS VISIBLE FROM ADJOINING PROPERTIES AND PUBLIC RIGHTS-OF-WAY (OFF-SITE) SHALL BE EFFECTIVELY SCREENED WITH LANDSCAPING. SCREENING SHALL INCLUDE TREES, DENSE EVERGREEN SHRUBS, SECURITY WALLS, EARTH BERMS, OR ANY COMBINATION THEREOF.

ALL GROUND MOUNTED ELECTRICAL/MECHANICAL/WATER EQUIPMENT SHALL BE EFFECTIVELY SCREENED WITH LANDSCAPING.

TREES WITHIN 6FT OF HARDSCAPE SHALL BE INSTALLED WITH AN APPROVED LINEAR ROOT CONTROL BARRIER ALONG THE EDGE OF THE HARDSCAPE (16 FEET TOTAL MIN. LENGTH FOR EACH TREE).



# WARNER CENTER - PHASES I & II

21300 W OXNARD STREET

WOODLAND HILLS, CALIFORNIA

# LANDSCAPE LEGENDS AND NOTES

# LP-5

September 15, 2023

**PROJECT INFORMATION:**

**PROJECT ADDRESS**  
21300 W OXNARD ST, WOODLAND HILLS, CA 91367

**ZONING INFORMATION**  
ZONING: (WC)COMMERCE-SN  
(WC)C/145/1.5

**LOT AREA**  
LOT AREA: 2.311 ACRE (100,648 SF)  
NET LOT AREA EXCLUDES EASEMENT: 2.264 ACRE (98,619 SF)  
LOT AREA AFTER DEDICATION: 2.25 ACRE (98,013 SF)

**CONSTRUCTION/OCCUPANCY TYPE**  
CONSTRUCTION TYPE: IIIA, IB  
OCCUPANCY: R-1, S-2

**LEGAL DESCRIPTION**  
PARCEL 1  
PARCEL 1 OF PARCEL MAP 1 A NO. 3752, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PERMITTED BY PARCEL MAP 1 A, PAGES 76 TO 80 INCLUSIVE OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.  
PARCEL 2  
THE EASEMENTS FOR RECIPROCAL ACCESS, INGRESS AND PARKING OVER, ON AND ACROSS ALL DRIVEWAYS AND PARKING AREAS GRANTED UNDER THE TERMS AND PROVISION OF THAT CERTAIN PARKING RECIPROCAL EASEMENT AGREEMENT RECORDED NOVEMBER 15, 2002 AS INSTRUMENT NO.02-2766387, OF OFFICIAL RECORDS. A.P.N: 2149-002-032

**PROJECT DESCRIPTION**  
PHASE 1 OF THE PROJECT INCLUDES A 7 STORY AT ±82'-4 1/2" OVERALL HEIGHT, 173 AFFORDABLE DWELLING UNITS, WOOD FRAME, RESIDENTIAL BUILDING OVER A 2 LEVEL CONCRETE PARKING STRUCTURE (UP TO 159 PARKING STALLS), FIRST FLOOR OF THE BUILDING INCLUDES RESIDENTIAL AMENITIES AND PARKING.  
PHASE 2 OF THE A 8 STORY @ ±91'-0", 128 AFFORDABLE DWELLING UNITS, WOOD FRAME, RESIDENTIAL BUILDING OVER A 2 LEVEL CONCRETE PARKING STRUCTURE (UP TO 70 PARKING STALLS).

**PROJECT AFFORDABLE UNITS**  
PHASE 1 CONSISTS OF 171 RESTRICTED UNITS AND TWO UNRESTRICTED MANAGER'S UNITS. PHASE 1 WILL ALLOCATE 10% (18) OF TOTAL RESTRICTED UNITS FOR VERY LOW INCOME HOUSEHOLDS UNDER HCD SCHEDULE VI. THE REMAINING RESTRICTED UNITS WILL BE RESTRICTED FOR MODERATE HOUSEHOLDS UNDER HUD SCHEDULE I.  
PHASE 2 CONSISTS OF 126 RESTRICTED UNITS AND TWO UNRESTRICTED MANAGER'S UNITS. PHASE 1 WILL ALLOCATE 10% (13) OF TOTAL RESTRICTED UNITS FOR VERY LOW INCOME HOUSEHOLDS UNDER HCD SCHEDULE VI. THE REMAINING RESTRICTED UNITS WILL BE RESTRICTED FOR MODERATE HOUSEHOLDS UNDER HUD SCHEDULE I.

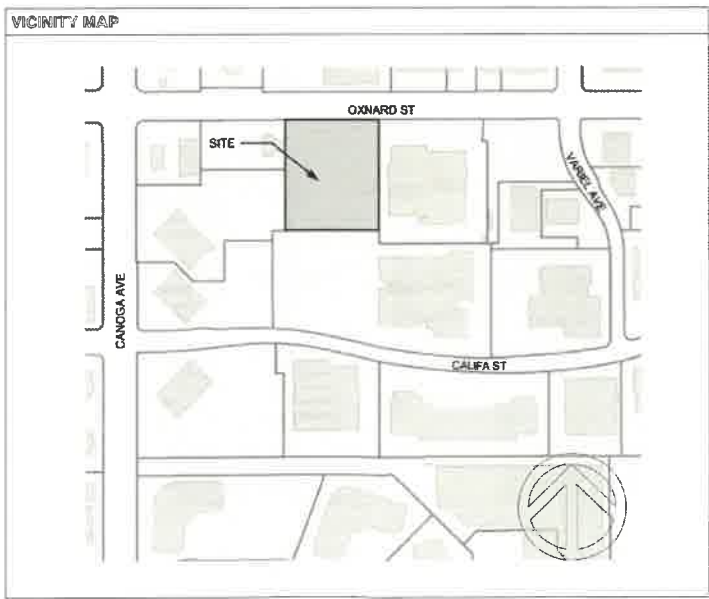
Refer to Condition No. 5  
for updated affordability.

**ENTITLEMENT SHEET INDEX**

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A0.6	LEED CHECKLIST SHEET
A0.7	PHASE 1 FLOOR AREA CALCULATION
A0.8	PHASE 2 FLOOR AREA CALCULATION
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A1.2	PHASE 1 - LEVEL 2
A1.3	PHASE 1 - LEVEL 3
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A2.7	PHASE 2 - ELEVATIONS
A2.8	PHASE 2 - ELEVATIONS
A2.9	PHASE 2 - TYPICAL WALL SECTIONS
A3.1	PHASE 1&2 - MATERIAL AND BIKE RACK SPEC SHEET
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LP-5	LANDSCAPE LEGENDS AND NOTES

**EXHIBIT "A"**  
Page No. 27 of 57  
Case No. ADM 2023-6353-  
DB-STY-HCA-WC-EO1

**OCT 30 2023**



**1. SITE DATA:**

**PROJECT SUMMARY**

PHASE 1	7-STORY RESIDENTIAL BUILDING	OVERALL BUILDING HEIGHT ±82'-4 1/2" TO TOP OF STAIR PENTHOUSE ±88'-1 1/2"
PHASE 2	8-STORY RESIDENTIAL BUILDING	OVERALL BUILDING HEIGHT ±91'-0" TO TOP OF STAIR PENTHOUSE ±97'-0"

**2. FAR CALCULATION**

<b>PHASE 1 (RESIDENTIAL 173 UNITS)*</b>	
LEVEL 1	5,346
LEVEL 2	6,081
LEVEL 3	31,010
LEVEL 4	31,346
LEVEL 5	31,349
LEVEL 6	31,011
LEVEL 7	31,346
TOTAL	167,487

<b>PHASE 2 (RESIDENTIAL 128 UNITS)*</b>	
LEVEL 1	2,505
LEVEL 2	9,095
LEVEL 3	19,567
LEVEL 4	19,567
LEVEL 5	19,567
LEVEL 6	19,567
LEVEL 7	19,567
LEVEL 8	19,567
TOTAL	129,000

**FAR TOTAL BUILDOUT**

SITE AREA	100,623
SITE AREA (AFTER DEDICATION)	98,013
TOTAL RESIDENTIAL FLOOR AREA	296,487
FAR	3.02

**3. P.A.O.S**

<b>PAOS REQUIRED - 15% SITE AREA</b>	
PHASE 1+PHASE 2	14,702
<b>PAOS PROVIDED</b>	
PHASE 1	8,436
PHASE 2	7,956
PHASE 1 + PHASE 2	16,392

**4. PRIVATE & COMMON OPEN SPACE**

<b>OPEN SPACE REQUIRED</b>				
PHASE 1				
UNIT TYPE	UNIT COUNT	REQUIRED PER UNIT	REQUIRED OPEN SPACE	
STUDIO	40	100	4,000	
1 BEDROOM	41	100	4,100	
2 BEDROOM	46	125	5,750	
3 BEDROOM	46	175	8,050	
PHASE 1 REQUIRED			21,900	
PHASE 2				
STUDIO	15	100	1,500	
1 BEDROOM	34	100	3,400	
2 BEDROOM	47	125	5,875	
3 BEDROOM	32	175	5,600	
PHASE 2 REQUIRED			16,375	
TOTAL REQUIRED (PHASE 1 & PHASE 2)			38,275	

<b>OPEN SPACE PROVIDED</b>	
PHASE 1	
L1 PAOS	8,436
L1 RESIDENTIAL OPEN SPACE	8,650
L3 COURTYARD	6,719
L1 AMENITY	2,277
PHASE 1 TOTAL	26,082
PHASE 2	
L1 PAOS	7,956
L3 COURTYARD	3,060
L3 AMENITY	1,290
PHASE 2 TOTAL	12,306
TOTAL PROVIDED (PHASE 1 & 2)	38,388

**5. SETBACK**

<b>SETBACK REQUIRED</b>	
FRONT (OXNARD ST.)	MIN. 12'-0" TO MAX. 20'-0" (30% TO BE LANDSCAPED)
BACK	NOT REQUIRED
SIDE	NOT REQUIRED
<b>SETBACK PROVIDED</b>	
FRONT (OXNARD ST.)	12'-0"
BACK	12'-0"
SIDE	11'-6" EAST 14'-6" WEST

**6. PARKING REQUIREMENT**

<b>PHASE 1 REQUIRED</b>		
UNIT COUNT		
173	1 PER UNIT	173
<b>PHASE 2 REQUIRED</b>		
UNIT COUNT		
128	1 PER UNIT	128
TOTAL PARKING REQUIRED (PHASE 1&2)		301
<b>PHASE 1 PROVIDED</b>		
PHASE 2 PROVIDED		70
TOTAL PARKING PROVIDED (PHASE 1&2)		229
24% PARKING REPLACED BY BIKE (MAX. 30%)		72

**BIKE PARKING**

<b>PHASE 1 REQUIRED</b>		
LONG TERM	25(1-25 UNITS/1) 50(26-100 UNITS/1.5) 73(101-173 UNITS/2)	112
SHORT TERM	3(1-25 UNITS/1) 5(26-100 UNITS/1.5) 4(101-173 UNITS/2)	12
<b>PHASE 2 REQUIRED</b>		
LONG TERM	25(1-25 UNITS/1) 50(26-100 UNITS/1.5) 73(101-128 UNITS/2)	89
SHORT TERM	3(1-25 UNITS/1) 5(26-100 UNITS/1.5) 4(101-128 UNITS/2)	9
BIKE TO REDUCE PARKING (1:4 RATIO)		288
<b>PHASE 1 PROVIDED</b>		
LONG TERM		156
SHORT TERM		12
<b>PHASE 2 PROVIDED</b>		
LONG TERM		106
SHORT TERM		14
<b>TOTAL BIKE PARKING PROVIDED (PHASE 1&amp;2)</b>		
LONG TERM		262
SHORT TERM		26
TOTAL PROVIDED		288

**7. UNIT SUMMARY**

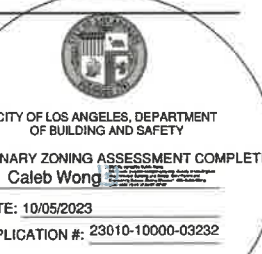
<b>PHASE 1</b>						
LEVEL	STUDIO	1BR	2BR	3BR	TOTAL	
LEVEL 1	0	0	0	0	0	
LEVEL 2	1	1	1	1	4	
LEVEL 3	7	8	9	9	33	
LEVEL 4	8	8	9	9	34	
LEVEL 5	8	8	9	9	34	
LEVEL 6	8	8	9	9	34	
LEVEL 7	8	8	9	9	34	
TOTAL	40	41	46	46	173	
PERCENTAGE	23%	24%	27%	27%	100%	

<b>PHASE 2</b>						
LEVEL	STUDIO	1BR	2BR	3BR	TOTAL	
LEVEL 1	0	0	0	0	0	
LEVEL 2	3	3	0	2	8	
LEVEL 3	2	6	7	5	20	
LEVEL 4	2	5	8	5	20	
LEVEL 5	2	5	8	5	20	
LEVEL 6	2	5	8	5	20	
LEVEL 7	2	5	8	5	20	
LEVEL 8	2	5	8	5	20	
TOTAL	15	34	47	32	128	
PERCENTAGE	12%	27%	37%	25%	100%	

**TOTAL UNIT MIX (PHASE 1+PHASE 2)**

TOTAL	STUDIO	1BR	2BR	3BR	TOTAL	
PERCENTAGE	18%	25%	31%	26%	301	

**AC MARTIN**  
444 S FLOWER STREET SUITE 1200  
LOS ANGELES CA 90071 T 213 483 1900



project number 2207036  
project director  
project designer  
project architect

**21300 OXNARD ST. WARNER CENTER**  
META DEVELOPMENT, LLC  
11150 West Olympic Blvd.  
Suite 620  
Los Angeles, CA 90064

**PROJECT SUMMARY**

**A0.1**

plot date 10/3/2023 10:33:46 AM

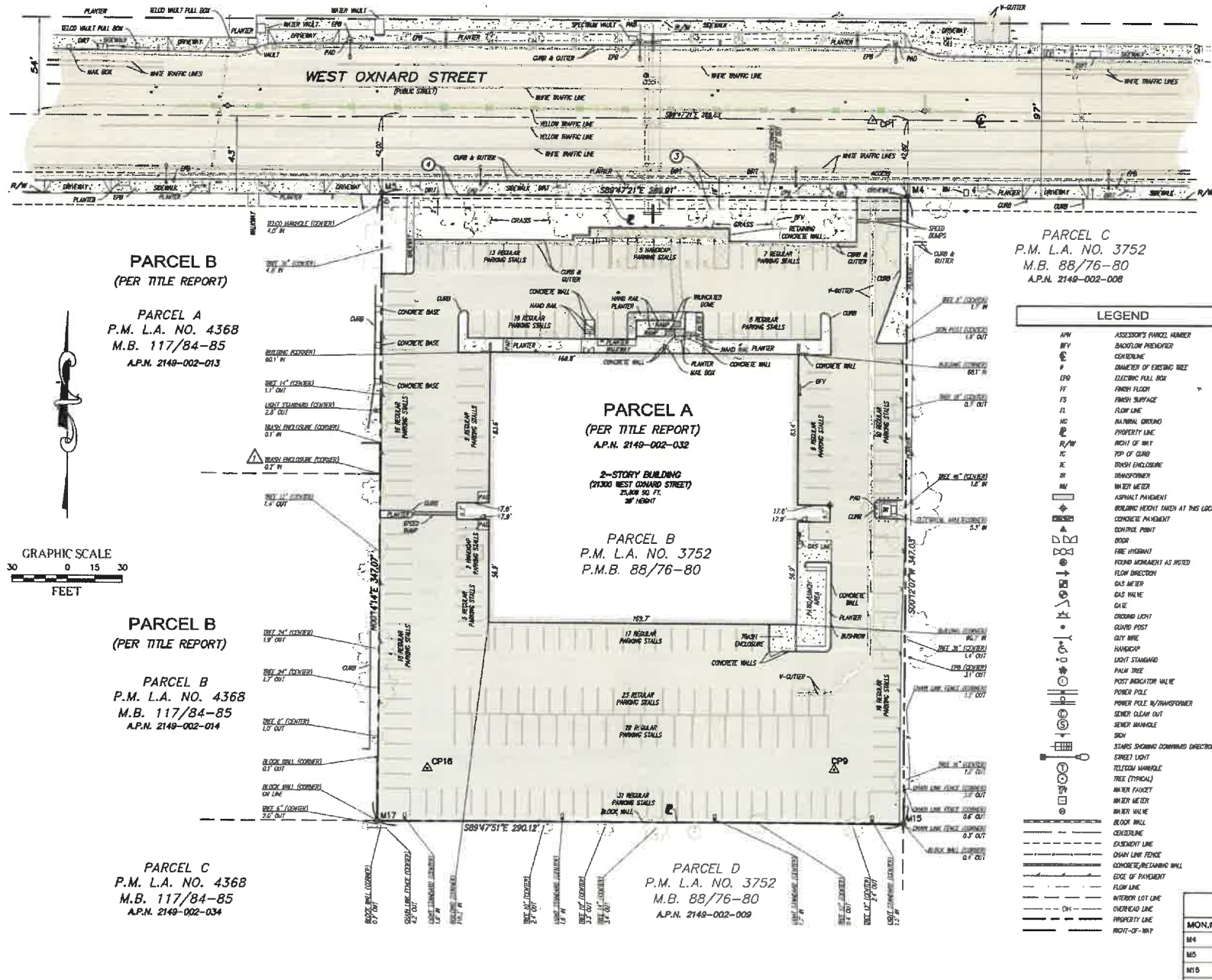
**21300 OXNARD ST**  
**WOODLAND HILLS, CALIFORNIA**



10 | 03 | 2023  
**ENTITLEMENT SET**

# A.L.T.A./N.S.P.S. LAND TITLE SURVEY

## 21300 WEST OXNARD ST, WOODLAND HILLS, CA 91367



**PARCEL B**  
(PER TITLE REPORT)

**PARCEL A**  
P.M. L.A. NO. 4368  
M.B. 117/84-85  
A.P.N. 2149-002-013

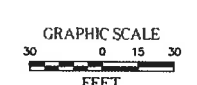
**PARCEL B**  
(PER TITLE REPORT)

**PARCEL B**  
P.M. L.A. NO. 4368  
M.B. 117/84-85  
A.P.N. 2149-002-014

**PARCEL B**  
P.M. L.A. NO. 4368  
M.B. 117/84-85  
A.P.N. 2149-002-034

**PARCEL C**  
P.M. L.A. NO. 3752  
M.B. 88/76-80  
A.P.N. 2149-002-009

**PARCEL D**  
P.M. L.A. NO. 3752  
M.B. 88/76-80  
A.P.N. 2149-002-008



### LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP FILED IN BOOK 88, PAGES 76 TO 80 INCLUSIVE OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

**PARCEL 1:**  
PARCEL 1, 78' OF PARCEL MAP L.A. NO. 3752, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP FILED IN BOOK 88, PAGES 76 TO 80 INCLUSIVE OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

**PARCEL 2:**  
THE EASEMENTS FOR RECREATIONAL ACCESS, EGRESS AND PARKING OVER, ON AND ACROSS ALL CONVEYABLE PARCELS ARE GRANTED UNDER THE TERMS AND PROVISIONS OF THAT CERTAIN PARKING RECREATIONAL EASEMENT AGREEMENT RECORDED NOVEMBER 15, 2002 AS INSTRUMENT NO. 02-270627, OF OFFICIAL RECORDS.

### SCHEDULE B ITEMS

- BASED UPON TITLE REPORT NO. 003-008449-154, DATED OCTOBER 24, 2022 AS PREPARED BY FREEDY NATIONAL TITLE COMPANY.
- A. - PROPERTY LINES
- B. - THE LACK OF SUPPLEMENTAL OR ESCAPED ASSIGNMENTS OF PROPERTY TAXES
1. - WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT DISCLOSED BY THE PUBLIC RECORDS.
2. - EASEMENTS AND RIGHTS OF WAY FOR ROAD AND PUBLIC UTILITIES, AND APPURTENANCES THEREAS, AS REFERENCED AND CONVEYED BY VARIOUS DEEDS OF RECORD, AFFECTS EASEMENT PARCELS.
3. - EASEMENT FOR UNDERGROUND TELEPHONE, TELEGRAPH AND COMMUNICATION STRUCTURES AND INCIDENTAL PURPOSES AS GRANTED IN A DOCUMENT RECORDED OCTOBER 4, 1980 AS INSTR. NO. 304, O.R. (UNRECORDED)
4. - EASEMENT FOR STREET TREE, STREET LIGHTING AND INCIDENTAL PURPOSES, AS DELINEATED ON OR AS OFFERED FOR DEEDATION ON MAP/PLAT P.M. NO. 3752, O.R. 88, PG. 78 THROUGH 80, INCLUSIVE OF PARCEL MAPS (UNRECORDED)
5. - COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED AUGUST 26, 1979 AS INSTR. NO. 3605, O.R. MODIFICATION OF SAID COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED JUNE 28, 1979 AS INSTR. NO. 3353, O.R. MODIFICATION OF SAID COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED MAY 10, 1979 AS INSTR. NO. 3089, O.R. MODIFICATION OF SAID COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED FEBRUARY 11, 1977 AS INSTR. NO. 77-15364, O.R. (NOT A SURVEY MATTER)
6. - COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED DECEMBER 30, 1977 AS INSTR. NO. 77-14444, O.R. (NOT A SURVEY MATTER)
7. - AN INSTRUMENT ENTITLED "CONDEMNAT AND AGREEMENT REGARDING PLOT PLAN" RECORDED SEPTEMBER 14, 1978 AS INSTR. NO. 79-10309, O.R. (NOT A SURVEY MATTER)
8. - AN INSTRUMENT ENTITLED "CONDEMNAT AND AGREEMENT REGARDING MAINTENANCE OF PAVEMENT" RECORDED JUNE 24, 1981 AS INSTR. NO. 81-42848, O.R. AND RECORDED JULY 7, 1981 AS INSTR. NO. 81-42848, O.R. AND RECORDED JULY 7, 1981 AS INSTR. NO. 81-42848, O.R. (NOT A SURVEY MATTER)
9. - RECREATIONAL EASEMENTS FOR THE PURPOSES AS REFERRED TO IN THE DOCUMENT ENTITLED "RECREATIONAL EASEMENT AGREEMENT" RECORDED DECEMBER 30, 1980 AS INSTR. NO. 80-25484, O.R. (DOES NOT APPLY)
10. - MATTERS CONTAINED IN THAT CERTAIN DOCUMENT ENTITLED "DECLARATION OF COVENANTS AND RESTRICTIONS AND GRANT OF CERTAIN PARKING EASEMENTS" RECORDED NOVEMBER 15, 2002 AS INSTR. NO. 02-270627, O.R. (NOT A SURVEY MATTER)
11. - AN IRREVOCABLE OFFER TO DEDICATE AN EASEMENT OVER A PORTION OF SAID LAND FOR PUBLIC HIGHWAY PURPOSES, RECORDED MAY 9, 1985 AS INSTR. NO. 95-22002, O.R. (DOES NOT APPLY)
12. - MATTERS CONTAINED IN THAT CERTAIN DOCUMENT RECORDED MAY 9, 1985 AS INSTR. NO. 95-22002, O.R. (DOES NOT APPLY)
13. - THE MATTERS SET FORTH IN THE DOCUMENT ENTITLED "DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS AND GRANT OF CERTAIN PARKING EASEMENTS" RECORDED NOVEMBER 15, 2002 AS INSTR. NO. 02-270627, O.R. MODIFICATION OF SAID COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED JUNE 28, 1979 AS INSTR. NO. 3353, O.R. MODIFICATION OF SAID COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED MAY 10, 1979 AS INSTR. NO. 3089, O.R. MODIFICATION OF SAID COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED FEBRUARY 11, 2018 AS INSTR. NO. 201801112, O.R. (UNRECORDED MATTER)
14. - AN INSTRUMENT ENTITLED "CONDEMNAT AND AGREEMENT TRANSPORTATION DEMAND MANAGEMENT AND TRIP" RECORDED JANUARY 4, 2003 AS INSTR. NO. 03-003525, O.R. (NOT A SURVEY MATTER)
15. - UNRECORDED, UNFILED OR UNRECORDED, UNFILED, UNRECORDED, OR ANY OTHER MATTERS SHOWN ON RECORDS OF SURVEY MAP NO. 3752, O.R. 88, PG. 22 TO 24, INCLUSIVE OF RECORD OF SURVEY, RECORDED FEBRUARY 01, 2019 AS INSTR. NO. 201901127, O.R. (UNRECORDED MATTER)
16. - A DEED OF TRUST TO SECURE AN INTEREST RECORDED JULY 7, 2020 AS INSTR. NO. 202007396, O.R. (NOT A SURVEY MATTER)
17. - AN ASSIGNMENT OF ALL THE OWNER'S OIL, OR TO BECOME ONE AS RENTAL AS ADDITIONAL SECURITY FOR THE OBLIGATIONS BY DEED OF TRUST SHOWN AS ITEM NO. 16, RECORDED JULY 7, 2020 AS INSTR. NO. 202007396, O.R. (NOT A SURVEY MATTER)
18. - MATTERS CONTAINED IN THAT CERTAIN DOCUMENT ENTITLED "HAZARDOUS SUBSTANCES CERTIFICATE AND INDEMNITY AGREEMENT" RECORDED JULY 7, 2020 AS INSTR. NO. 202007396, O.R. (NOT A SURVEY MATTER)
19. - AN UNRECORDED LEASE ENTITLED "SUBORDINATION, NONDISTURBANCE AND ATTORNEY AGREEMENT" RECORDED JULY 7, 2020 AS INSTR. NO. 202007396, O.R. AN AGREEMENT RECORDED JULY 7, 2020 AS INSTR. NO. 202007396, O.R. WHICH STATES THAT SAID LEASE HAS BEEN MADE SUBORDINATE TO THE DOCUMENT ENTITLED "DEED OF TRUST" RECORDED JULY 7, 2020 AS INSTR. NO. 202007396, O.R. (NOT A SURVEY MATTER)
20. - AN UNRECORDED LEASE ENTITLED "SUBORDINATION, NONDISTURBANCE AND ATTORNEY AGREEMENT" RECORDED JULY 7, 2020 AS INSTR. NO. 202007396, O.R. AN AGREEMENT RECORDED JULY 7, 2020 AS INSTR. NO. 202007396, O.R. WHICH STATES THAT SAID LEASE HAS BEEN MADE SUBORDINATE TO THE DOCUMENT ENTITLED "DEED OF TRUST" RECORDED JULY 7, 2020 AS INSTR. NO. 202007396, O.R. (NOT A SURVEY MATTER)

**FLOOD NOTE:** BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE "X" OF THE FLOOD INSURANCE RATE MAP, PANEL NO. 06070200C, PANEL DATED SEPTEMBER 08, 2009. THIS PROPERTY IS NOT LOCATED IN AN AREA WHERE FLOOD HAZARD COST AS DETERMINED BY FLOODING BY REFERENCE TO THE NATIONAL FLOOD INSURANCE PROGRAM (500-430-8420). WE HAVE LEARNED THIS COUNTY DOES CURRENTLY PARTICIPATE IN THE PROGRAM, NO FLOOD SURVEYING WAS PERFORMED TO DETERMINE THE FLOOD AND ELEVATION CERTIFICATE MAY BE HELD TO NOTIFY THIS DETERMINATION OR APPLY FOR A VOUCHER FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

### MONUMENT NOTES

MON.#	DESCRIPTION
M04	FD. LEAD TACK & TAG STAMPED "ICE 8758" PER R.S. 304/22-23
M05	FD. LEAD TACK & TAG STAMPED "PLS 8167" PER R.S. 304/22-23
M06	FD. LEAD TACK & TAG STAMPED "ICE 8758" PER R.S. 304/22-23
M07	FD. 1" IRON PIPE WITH PLASTIC PLUG BROKEN STAMPED "L.S. 7582" PER R.S. 304/22-23

### VICINITY MAP



### SCHEDULE B ITEMS (CONT.)

21. - AN UNRECORDED LEASE ENTITLED "SUBORDINATION, NONDISTURBANCE AND ATTORNEY AGREEMENT" RECORDED JULY 7, 2020 AS INSTR. NO. 202007396, O.R. AN AGREEMENT RECORDED JULY 7, 2020 AS INSTR. NO. 202007396, O.R. WHICH STATES THAT SAID LEASE HAS BEEN MADE SUBORDINATE TO THE DOCUMENT ENTITLED "DEED OF TRUST" RECORDED JULY 7, 2020 AS INSTR. NO. 202007396, O.R. (NOT A SURVEY MATTER)
22. - AN UNRECORDED LEASE ENTITLED "SUBORDINATION, NONDISTURBANCE AND ATTORNEY AGREEMENT" RECORDED JULY 7, 2020 AS INSTR. NO. 202007396, O.R. AN AGREEMENT RECORDED JULY 7, 2020 AS INSTR. NO. 202007396, O.R. WHICH STATES THAT SAID LEASE HAS BEEN MADE SUBORDINATE TO THE DOCUMENT ENTITLED "DEED OF TRUST" RECORDED JULY 7, 2020 AS INSTR. NO. 202007396, O.R. (NOT A SURVEY MATTER)
23. - A FINANCING STATEMENT RECORDED JULY 13, 2020 AS INSTR. NO. 202007396, O.R. (NOT A SURVEY MATTER)
24. - ANY EASEMENTS NOT DISCLOSED BY THE PUBLIC RECORDS AS TO MATTERS AFFECTING TITLE TO REAL PROPERTY, WHETHER OR NOT SAID EASEMENTS ARE VISIBLE AND APPARENT.
25. - MATTERS WHICH MAY BE DISCLOSED BY AN INSPECTION AND/OR BY A CORRECT ALIAMPS LAND TITLE SURVEY OF SAID LAND THAT IS SATISFACTORY TO THE COMPANY, AND/OR BY INQUIRY OF THE PARTIES IN POSSESSION THEREOF.
26. - ANY RIGHTS OF THE PARTIES IN POSSESSION OF A PORTION OF, OR ALL OF, SAID LAND, WHICH RIGHTS ARE NOT DISCLOSED BY THE PUBLIC RECORDS, THE COMPANY WILL REQUIRE, FOR REVIEW, A FULL AND COMPLETE COPY OF ANY UNRECORDED AGREEMENT, CONTRACT, LICENSE, AND/OR LEASE, TOGETHER WITH ALL SUPPLEMENTS, AMENDMENTS AND MODIFICATIONS THEREOF, SECURE SURETY ANY POLICY OF TITLE INSURANCE WITHOUT EXCEPTING THIS ITEM FROM COVERAGE, THE COMPANY RESERVES THE RIGHT TO VERIFY ADDITIONAL ITEMS AND/OR MAKE ADDITIONAL RECOMMENDATIONS AFTER REVIEWING SAID DOCUMENTS.

### POSSIBLE ENCROACHMENT NOTES

THIS IS A LISTING OF OBSERVED ENCROACHMENTS THAT CROSS PROPERTY LINES. STATEMENT OF OWNERSHIP OR POSSESSION IS NOT THE INTENT OF THIS LISTING.

▲ TRASH ENCLOSURE WALL OVERLAPS INTO THE WESTERLY PROPERTY LINE

### ITEMS CORRESPONDING TO TABLE A ITEMS

- ITEM 16  
THE NEAREST INTERSECTING STREET TO THE PROPERTY IS WAREL AVENUE AND IT IS 8600 FEET.
- ITEM 18  
NO EVIDENCE OF RECENT EARTH MOVING, BUILDING CONSTRUCTION OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELD WORK.
- ITEM 17  
NO CHECKED OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELD WORK.

### SURVEYOR'S NOTES

- THE UTILITIES SHOWN HEREON ARE BASED ON OBSERVED EVIDENCE ONLY. THIS SURVEY WOULD NOT SHOW UTILITIES COVERED BY CURB/TROUS OR RECENTLY PAVED ASPHALT/CONCRETE OR OVERGROUND BRUSH, TREES AND SHRUBS.
- UNLESS THIS PLAN HAS THE SEAL AND SIGNATURE OF THE SURVEYOR AND/OR ENGINEER RESPONSIBLE FOR ITS PREPARATION, THIS IS NOT AN AUTHENTIC COPY OF THE ORIGINAL SURVEY AND SHALL NOT BE DEEMED RELIABLE.

### SURVEYOR'S CERTIFICATE

TO WISNER LLC, A CALIFORNIA LIMITED LIABILITY COMPANY, AS TO AN UNRECORDED 75% INTEREST AND 25% INTEREST IN AND TO THE SURETY COMPANY, TRUSTEES OF THE ST. FAMILY TRUST, AS TO AN UNRECORDED 24.3020% INTEREST AS TENANTS IN COMMON; FREEDY NATIONAL TITLE COMPANY.

THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALIAMPS LAND TITLE SURVEYS, ACTIVELY ESTABLISHED AND ADOPTED BY ALTA AND NPSL AND INCLUDES ITEMS 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17 AND 18 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON DECEMBER 01, 2022.

DATE OF PLAN OR MAP: DECEMBER 01, 2022

### REVISIONS

NO.	DATE	REVISIONS	BY
0	12/20/22	SUBMITTAL	GV

### UTILITY STATEMENT

BLIND UTILITIES AND/OR UTILITIES SHOWN HEREON ARE PER VISUAL AND APPARENT SURFACE EVIDENCE. RECORD DRAWINGS OF THE CONSTRUCTED UTILITY LINES OBTAINED FROM RELIABLE AND RESPONSIBLE SOURCES ARE COMPARED WITH GROUND SURVEYING, INC. OR SURVEYOR PROVIDED BY AN INDEPENDENT LOCATING CONTRACTOR. NO CHANGES OR MODIFICATIONS TO THE UTILITIES SHOWN HEREON ARE MADE AS TO THE ACCURACY OR LOCATIONS OF SUCH UTILITIES. IF ANY UNRECORDED UTILITIES OR PIPE LINES ARE DISCOVERED BY THE UTILITY OR PUBLIC BELL WORK TO BE PERFORMED BY PUBLIC UTILITIES, CHANGING SURVEYING, INC. AND THE SURVEYOR OF RECORD SHALL NOT BE HELD LIABLE FOR THE LOCATION OF OR THE FAILURE TO NOTE THE LOCATION OF NON-VISIBLE UTILITIES OR PIPE LINES.

**Underground Service Alert**  
Call: TOLL FREE 1-800-227-2600  
TWO WORKING DAYS BEFORE YOU DIG

### PREPARED FOR

UNITED CIVIL  
30141 AQUINA RD., SUITE 215  
AQUINA HILLS, CA 91301  
PHONE: (818) 707-9438 x11

### BASIS OF BEARINGS

THE BEARINGS SHOWN HEREON ARE BASED UPON THE CALIFORNIA COORDINATE SYSTEM OF 1983, CSRS, ZONE 5 (2022.75) IN ACCORDANCE TO THE CALIFORNIA PUBLIC RESOURCES CODE SECTIONS 8601-8616. SAID BEARINGS ARE DETERMINED LOCALLY UPON FIELD-OBSERVED TIES TO THE FOLLOWING LOCAL QUADRANT NORTH (Q.N.) AND QUADRANT SOUTH (Q.S.) STATIONING (C.O.S.):

S.A.N.A. C&M: 1059162.65 EASTING = 8418700.58  
S.A.N.A. C&M: 1059162.65 EASTING = 8418700.58  
S.A.N.A. C&M: 1059162.65 EASTING = 8418700.58

### SITE INFORMATION

SITE ADDRESS: 21300 WEST OXNARD ST, CA 91367  
PROPERTY AREA: 60855 AC; 2.31 AC OR 104546 SQ. FT.  
NET AREA: 2.384 AC OR 98149 SQ. FT.  
TOTAL GROUND FLOOR AREA OF BUILDING: 25,809 SQ. FT.  
PARKING COUNT: 214 REGULAR PARKING STALLS  
15 UNUSUAL PARKING STALLS  
221 TOTAL PARKING STALLS  
ASSESSOR'S PARCEL NO.: 2149-002-008

### SURVEYOR OF RECORD

FIELD COMPLETION DATE: DECEMBER 01, 2022

**CAL VADA SURVEYING, INC.**  
411 Janice Circle, Suite 205, Corona, CA 92708  
Phone: 951-260-0960 Fax: 951-260-4746  
Toll Free: 800-CALVADA www.calvada.com  
EST. 1968 JOB NO. 22922

Armeda & Huff  
Registration No. 7780

SHEET 1 OF 6

architect  
**ACMARTIN**  
444 S FLOWER STREET SUITE 1200  
LOS ANGELES CA 90071 T 213.683.1900

stamp

consultant

project number 2207036  
project director  
project designer  
project architect

**21300 OXNARD ST. WARNER CENTER**  
META DEVELOPMENT, LLC  
11150 West Olympic Blvd.  
Suite 620  
Los Angeles, CA 90064

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**SURVEY**  
sheet number  
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OCT 30 2023

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PHASE 1 – Demolish existing buildings on site and build a 100% affordable 173 unit apartment.

Demolition: Estimated completion date: December 2023

- Demolish the entire existing non-residential building, remove all existing site elements including parking lots, hardscape, utilities and landscaping.
- Rough grade the site and incorporate utilities required for the total building out of Phase 1 and to provide the main utilities.
- Provide all off-site improvements including dedications, street widening, new curbs, landscape and sidewalk for the entire site adjacent to the street.

	<u>Non-residential</u>	<u>Residential</u>	<u>Total</u>
Building Area to Be Demolished (This Phase)	(35,722) SF	0 SF	(35,722) SF
Existing Floor Area to Remain	0 SF	0 SF	0 SF
New Area Added in Previous Phase to Remain		0 SF	0 SF
New Area Added This Phase		<u>167,487 SF</u>	<u>167,487 SF</u>
Total Area		167,487 SF	167,487 SF
Original Surface Parking to be Demolished	(228) Spaces	0 Space	(228) Spaces
New Structured Parking Added in Previous Phase	0 Space	0 Space	0 Space
New Structured Parking Added in this Phase		<u>159 Space</u>	<u>159 Space</u>
Total Parking		159 Space	159 Space
Publically Accessible Open Space (PAOS) Added in Previous Phase	0 SF	0 SF	0 SF
Publically Accessible Open Space (PAOS) Added in this Phase		<u>5,994 SF</u>	<u>5,994 SF</u>
Total Publically Accessible Open Space (PAOS)		5,994 SF	5,994 SF

Build 173 unit affordable apartment: Estimated completion date: April 2026

- Construct the apartment building and connect all utilities.
- Build all Phase 1 site improvements including the main driveway, publicly accessible open space hardscape and landscape and Fire Lane.
- Install all landscape elements including fencing along the property line on 3 sides for Phase 1.

Phase 2 – Build a 100% affordable 128 unit apartment. Estimated completion date: April 2027

	<u>Residential</u>	<u>Total</u>
New Area Added in Previous Phase to Remain	167,487 SF	167,487 SF
New Area Added This Phase	<u>129,000 SF</u>	<u>129,000 SF</u>
Total Area	296,487 SF	296,487 SF
New Structured Parking Added in Previous Phase	159 Space	159 Space
New Structured Parking Added in this Phase	<u>70 Space</u>	<u>70 Space</u>
Total Parking	229 Space	229 Space
Publically Accessible Open Space (PAOS) Added in Previous Phase	5,994 SF	5,994 SF
Publically Accessible Open Space (PAOS) Added in this Phase	<u>11,110 SF</u>	<u>11,110 SF</u>
Total Publically Accessible Open Space (PAOS)	17,104 SF	17,104 SF

- Construct 100% affordable 128 unit apartment and connect all utilities, and provide all finished site improvements around the building including all PAOS elements, hardscape and landscape.
- Repair all Phase 1 elements damaged during the Phase 2 construction including elements in the public way.

architect  
**ACMARTIN**  
 444 S FLOWER STREET SUITE 1200  
 LOS ANGELES CA 90071 T 213 683 1900

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 1:30 pm, Feb 17, 2026

consultant  
**EXHIBIT "A"**  
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 Case No. ADM-2023-6353-DB-SPP-HCA-WC-E01

project number 2207035  
 project director  
 project designer  
 project architect

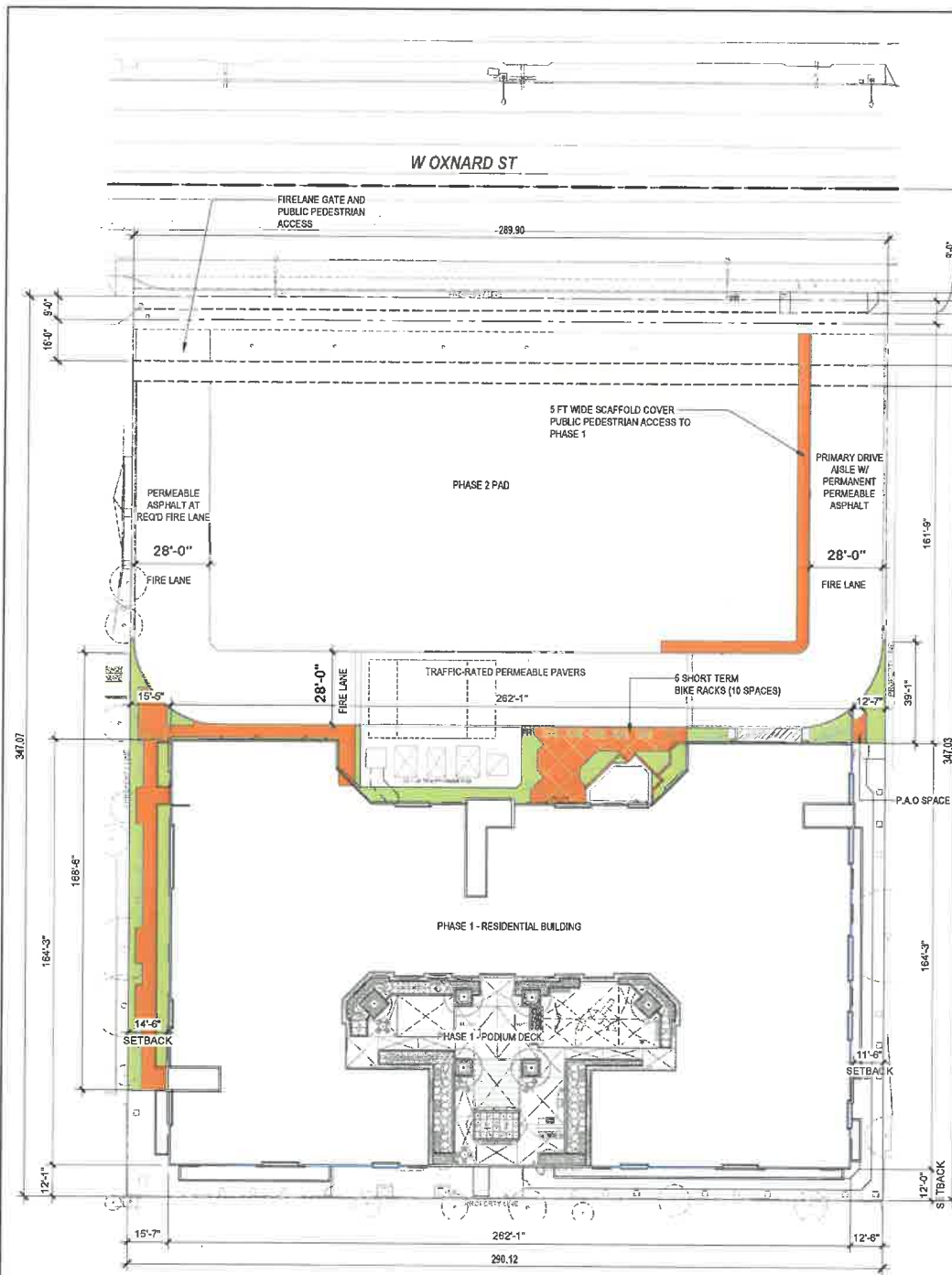
**21300 OXNARD  
 ST. WARNER  
 CENTER**  
 META DEVELOPMENT, LLC  
 11150 West Olympic Blvd.  
 Suite 620  
 Los Angeles, CA 90064

sheet name  
**PHASING  
 DESCRIPTION**

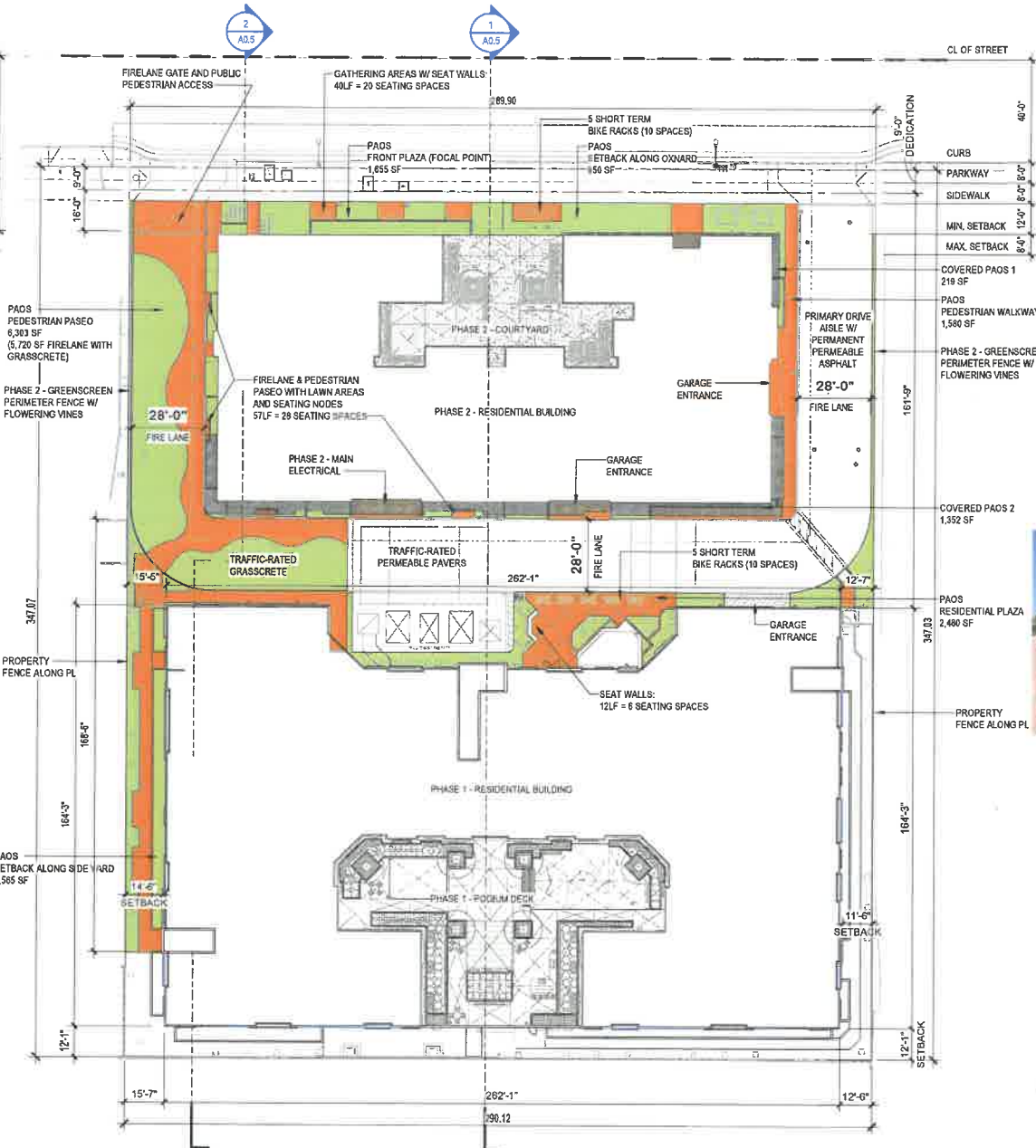
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**SITE PLAN - PHASE 1**  
SCALE: 1" = 30'-0"  
1



**SITE PLAN - PHASE 2**  
SCALE: 1" = 30'-0"  
2

**P.A.O.S. | PUBLICLY ACCESSIBLE OPEN SPACE**

**PHASE 1+2**  
SITE AREA: 98,013 SF AFTER DEDICATION

**PROVIDED:**

COVERED PAOS 1:	219 SF *
COVERED PAOS 2:	1,352 SF *
FRONT PLAZA (FOCAL POINT)	1,655 SF
SETBACK ALONG OXNARD	950 SF
PEDESTRIAN WALKWAY	1,580 SF
PEDESTRIAN PASEO	6,303 SF **
SETBACK ALONG SIDE YARD	2,565 SF
RESIDENTIAL PLAZA	2,480 SF
<b>TOTAL PROVIDED:</b>	<b>17,104 SF</b>

**TOTAL REQUIRED:**

<b>TOTAL COVERED PAOS</b>	<b>1,571 SF</b>
<b>MAX. ALLOWED COVERED</b>	<b>1,710 SF (10% MAX OF TOTAL PROVIDED PAOS)</b>

**SEE LANDSCAPE SHEET LP-2 FOR SEATING AND LANDSCAPED DETAIL BELOW**

PLANTING AREA REQUIRED	8,552 SF (50% MIN. OF TOTAL PROVIDED PAOS)
PLANTING AREA PROVIDED	9,549 SF
SEATING REQUIRED	33 (1 SEAT PER 500 SF PROVIDED PAOS)
SEATING PROVIDED	52

\*\* AMONG PEDESTRIAN PASEO, 5,720 SF FOR EMERGENCY VEHICLE ACCESS LANE WITH GRASSCRETE (WCSP SECTION 6.2.2.3.3)  
MAX. ALLOWED 65% 11,289 SF

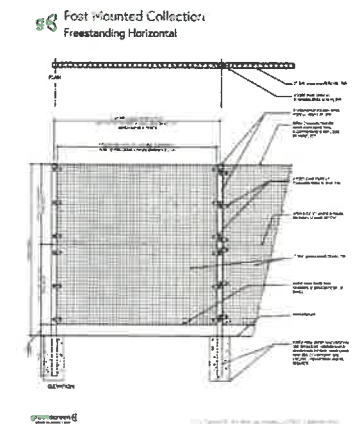
architect  
**AC MARTIN**  
444 S FLOWER STREET SUITE 1200  
LOS ANGELES CA 90071 T 213 683 1906

**REVISED**  
1:30 pm, Feb 17, 2026

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PROPERTY FENCE REFERENCE IMAGE



PROPERTY FENCE REFERENCE DETAIL

project number 2207036  
project director  
project designer  
project architect

**21300 OXNARD ST. WARNER CENTER**  
META DEVELOPMENT, LLC  
11150 West Olympic Blvd.  
Suite 620  
Los Angeles, CA 90064

**SITE PLAN - PHASE 1&2**

**A0.4**

sheet number  
plot date 1/22/2026 2:28:17 PM

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**ACMARTIN**  
100 WILSHIRE BOULEVARD SUITE 2000  
LOS ANGELES CA 90017 1 213 483 1900

**SITE PLAN KEYNOTES**

- 10.51 ASSISTIVE LISTENING SYSTEM: AVAILABLE UPON REQUEST IN ASSEMBLY OR AMENITY AREAS, INCLUDE MIN. 1 RECEIVER TO BE HEARING AND COMPATIBLE.
- 10.52 COMMERCIAL GRADE WASHER AND DRYER: FRONT LOADING, ALL CONTROLS INCLUDING COIN SLOT, DOORS, FILTER, ETC. MUST BE WITHIN REACH RANGE OF 17" MIN. TO 48" MAX. A.F.F.
- 10.53 LAUNDRY FOLDING TABLE: MOUNTED AT 34" MAX. A.F.F. TO TOP OF COUNTER WITH MIN. 30" WIDE X 27" MIN. HIGH CLEAR KNEE SPACE. SEE DETAIL 11A04A.
- 10.54 MANDIBLES: 17" MAX. A.F.F. TO BOTTOM OF LOWEST BOX AND 48" MAX. TO CENTER OF HIGHEST LOCK. SEE DETAIL 11A00.
- 10.55 WHEELCHAIR SPACE AT FIXED DINING TABLE: MIN. 30" X 48" SPACE X 19" DEEP KNEE AND TOE SPACE WITHOUT OBSTRUCTION. 34" MAX. TABLE HEIGHT.
- 10.56 WHEELCHAIR SPACE AT EATING COUNTER: MIN. 30" X 48" SPACE X 19" DEEP KNEE AND TOE SPACE WITHOUT OBSTRUCTION AT 34" HIGH COUNTER. IF COUNTER EXCEEDS 34" HIGH, 60" MIN. LENGTH IS REQUIRED TO BE LOWERED BETWEEN 28" TO 34".
- 10.57 CARPET PER INTERIOR DESIGN DRAWINGS: 1/2" MAX. PILE, FASTEN EDGES TO FLOOR AND ADD CARPET TRIM ALONG ENTIRE LENGTH OF EXPOSED EDGE. 1/2" MAX. CHANGE IN LEVEL WITH TOP HALF SEWED AT 1:2.
- 10.58 MIN. 5% OF COMMON SEATING AREAS TO BE ACCESSIBLE. COMMON AREA BBO/COUNTER HEIGHT TO BE MAX. 34".
- 10.59 ACCESSIBLE ROUTE: MINIMUM 48" WIDE CLEAR WITH MAXIMUM 5% SLOPE. MAXIMUM 2% CROSS SLOPE AND MAXIMUM 1/2" CHANGE IN ELEVATION WITH MINIMUM 84" CLEAR HEIGHT. IF ACCESSIBLE ROUTE IS LESS THAN 80" WIDE, THEN A 60" X 60" PASSING ZONE IS TO BE PROVIDED A MAXIMUM OF EVERY 200 FT. SEE LANDSCAPE AND CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.
- 11.2 AT ACCESSIBLE ROUTES WITH GREATER THAN 5% SLOPE, PROVIDE A RAMP WITH A MAXIMUM SLOPE OF 8.33% WITH A MAXIMUM CROSS SLOPE OF 2% IF ADJACENT GRADE VARIES MORE THAN 6". PROVIDE HANDRAILS ON BOTH SIDES OF RAMP. SEE DETAIL 12A00.
- 11.3 ACCESSIBLE PARKING SIGNAGE: SEE DETAIL 21A00.
- 11.4 CURB RAMP: MINIMUM 48" WIDE WITH MAXIMUM 8.33% SLOPE. PROVIDE WARNING TEXTURE ON RAMPS AND FLARES. SEE DETAIL 12A00.
- 11.5 PROVIDE A 30" WIDE CONTINUOUS DETECTABLE WARNING WHERE THE PEDESTRIAN PATH CROSSES OR ADJOURS A DRIVEWAY TO WARN OF POTENTIAL HAZARDS. SEE DETAIL 12A00.
- 11.6 PROVIDE INTERNATIONAL ACCESS SYMBOL TO BE VISIBLY POSTED AT ALL MAIN ENTRIES. SEE DETAIL 14A00.
- 11.7 NON-ABSORBENT FINISH WITH IN 2" OF NON-RESIDENTIAL ENTRANCE.
- 11.8 WATER INTRUSION PROTECTION USING FEATURES SUCH AS OVERHANGS, AWNING AND/OR RECESS FOR A COMBINED DEPTH OF MIN. 4" @
- 11.9 FIRE DEPARTMENT CONNECTION.
- 11.10 FIRE HYDRANT.
- 11.11 UNDERGROUND CISTERN: SEE CIVIL DRAWINGS.
- 11.12 CREASE INTERCEPT OR SEE PLUMBING DRAWINGS.
- 11.13 UNAUTHORIZED PARKING SIGN: SEE DETAIL 4A900.
- 11.14 SHORT-TERM BICYCLE PARKING: SEE DETAIL 15A701.
- 11.15 EXTERIOR CONCRETE STAR: SEE DETAIL 8 15-15A742.
- 11.16 KNOX BOX: 6" A.F.F. TO TOP OF BOX. SEE 31A00 FOR RECESS DETAIL.
- 11.17 PICKET FENCE IN BETWEEN PARCEL 1 AND 2.
- 11.18 FOR LID PLANTER: SEE DETAIL 11, 12A141. FOR ENTRY PLAZA PLANTER, SEE 18A741. FOR POOLUM PLANTER DETAILS, SEE 5 8, 17A1814. SEE CIVIL LANDSCAPE FOR MORE INFO.
- 11.19 SHORT TERM BIKE PARKING RACK, SEE LANDSCAPE PLANS.
- 11.20 KNOX BOX OVERRIDE.
- 12.1 REFER TO SHEETS A730 TO A730 AND 5A767 FOR FLASHING DETAILS.
- 12.2 REFER TO SHEETS A798 TO A798 FOR FIRE PENETRATION DETAILS.
- 12.3 SEE LANDSCAPE/CIVIL DWG FOR MORE INFO.
- 53 HIGH SLOPING ROOF NOTES.

**SITE PLAN GENERAL NOTES**

- 1. GRADE AND SITE SHALL BE DEVELOPED SO THAT ACCESSIBLE ROUTES OF TRAVEL ARE PROVIDED FROM PUBLIC TRANSPORTATION STOPS, ACCESSIBLE PARKING AND ACCESSIBLE PASSENGER LOADING ZONES, AND PUBLIC STREETS OR SIDEWALKS TO THE ACCESSIBLE ENTRANCE THEY SERVE.
- 2. ABRUPT CHANGES IN LEVEL ALONG ANY ACCESSIBLE ROUTE SHALL NOT EXCEED 1/2". WHEN CHANGES IN LEVEL DO OCCUR, THEY SHALL BE SEWED WITH A SLOPE NO GREATER THAN 1 UNIT VERTICAL IN 2 UNITS HORIZONTAL. CHANGES IN LEVEL NOT EXCEEDING 1/4" MAY BE VERTICAL CHANGES IN LEVEL GREATER THAN 1/2" SHALL BE MADE BY MEANS OF A RAMP.
- 3. ABRUPT CHANGES IN LEVEL EXCEEDING 4" IN VERTICAL DIMENSION (E.G. CHANGED IN LEVEL AT PLANTERS OR FOUNTAINS LOCATED IN OR ADJACENT TO PEDESTRIAN WAYS) SHALL BE IDENTIFIED BY CURBS OR OTHER APPROVED BARRIERS PROJECTING AT LEAST 1" IN HEIGHT ABOVE THE WALK TO WARN THE BLIND OF POTENTIAL DROP-OFFS.
- 4. WHERE FIRE STAIRING SIGNS ARE USED, THE BOTTOM OF THE SIGN SHALL BE 60" ABOVE THE FINISHED FLOOR OR GROUND LEVEL, WITH THE EDGES ROUNDED OR EASED AND THE CORNERS SHALL HAVE A MINIMUM RADIUS OF 0.125".
- 5. PROVIDE A 24" WIDE LEVEL AREA PAST THE STRIKE SIDE OF EXTERIOR DOORS, AND PROVIDE A 12" WIDE LEVEL AREA ON THE PUSH SIDE OF THE DOOR WITH BOTH A LATCH & CLOSER. SEE DETAIL 18A02.
- 6. ON ALL ACCESSIBLE PATHS, OBJECTS MOUNTED MORE THAN 27" AND LESS THAN 80" AFF CAN NOT PROTRUDE MORE THAN 4" IF AN OBJECT IS MOUNTED LESS THAN 27" IT CAN PROTRUDE ANY AMOUNT, AS LONG AS IT DOES NOT REDUCE THE MINIMUM REQUIRED WIDTH OF THE ACCESSIBLE PATH.
- 7. PROVIDE TACTILE EXIT SIGNAGE WITH CBC 11B-215 AT THE FOLLOWING LOCATIONS WITH THE FOLLOWING WORKS: A) AT EACH GRADE LEVEL EXIT DOOR - "EXIT" B) EACH EXIT DOOR THAT LEADS DIRECTLY TO A GRADE LEVEL EXTERIOR EXIT BY MEANS OF STAIRWAY OR RAMP - "EXIT STAIR DOWN", "EXIT STAIR UP", "EXIT RAMP DOWN", OR "EXIT RAMP UP" C) EACH EXIT DOOR THAT LEADS DIRECTLY TO A GRADE LEVEL EXTERIOR EXIT BY MEANS OF AN EXIT ENCLOSURE OR AN EXIT PASSAGEWAY - "EXIT ROUTE" D) EACH EXIT ACCESS DOOR FROM AN INTERIOR ROOM OR AREA TO A CORRIDOR OR HALLWAY THAT IS REQUIRED TO HAVE A VISUAL EXIT SIGN - "EXIT ROUTE".
- 8. ACCESSIBLE ROUTE OF TRAVEL IS DEFINED AS "A CONTINUOUS AND UNOBSTRUCTED PATH CONNECTING ALL ACCESSIBLE ELEMENTS AND SPACES IN AN ACCESSIBLE BUILDING OR FACILITY THAT CAN BE NEGOTIATED BY A PERSON WITH A SEVERE OBSCURITY USING A WHEELCHAIR AND THAT IS ALSO SAFE FOR AND USABLE BY PERSONS WITH OTHER DISABILITIES".

**ACCESSIBLE ROUTE LEGEND**

- ACCESSIBLE ROUTE
- ALL WALKWAYS AND SIDEWALKS ALONG ACCESSIBLE ROUTES SHALL COMPLY WITH CBC 11B-403:
- A. HAVE MAXIMUM 5% CHANGES IN ELEVATION OR PROVIDE CURB RAMPS COMPLYING WITH CBC 11B-406. CURB RAMPS SHALL NOT EXCEED 8% SLOPE.
  - B. MINIMUM 48" IN WIDTH.
  - C. WHERE NECESSARY TO CHANGE ELEVATION AT A SLOPE EXCEEDING 4.9% (I.E. 1:20), SHALL HAVE PEDESTRIAN RAMPS COMPLYING WITH CBC 11B-405 RAMPS SHALL NOT EXCEED 8% SLOPE. CBC 11B-405.2.
  - D. INTERNATIONAL ACCESS SYMBOL TO BE VISIBLY POSTED AT MAIN ENTRANCE. (CBC 11B-215.6 / 1110A.2).
  - E. PROVIDE (MINIMUM 30" DEEP X CONTIGUOUS WIDTH) DETECTABLE WARNING WHERE THE PEDESTRIAN PATH CROSSES OR ADJOURS A DRIVEWAY TO WARN OF POTENTIAL HAZARDS. PROVIDE DETECTABLE WARNING FOR FULL WIDTH AND DEPTH OF CURB RAMPS EXCLUDE FLARED SIDES. CBC 11B-705.1.2.
- NOTE: PROVIDE TACTILE EXIT SIGNAGE THAT COMPLIES WITH CBC 11B-215.4 AT THE FOLLOWING LOCATIONS WITH THE FOLLOWING WORDS (CBC SECTION 1013.4):
- A. EACH GRADE LEVEL EXTERIOR EXIT DOOR - "EXIT"
  - B. EACH EXIT DOOR THAT LEADS DIRECTLY TO A GRADE LEVEL EXTERIOR EXIT BY MEANS OF A STAIRWAY OR RAMP - "EXIT STAIR DOWN", "EXIT STAIR UP", "EXIT RAMP DOWN", "EXIT RAMP UP"
  - C. EACH EXIT DOOR THAT LEADS DIRECTLY TO A GRADE LEVEL EXTERIOR EXIT BY MEANS OF AN EXIT ENCLOSURE OR AN EXIT PASSAGEWAY - "EXIT ROUTE"
  - D. EACH EXIT ACCESS DOOR FROM AN INTERIOR ROOM OR AREA TO A CORRIDOR OR HALLWAY THAT IS REQUIRED TO HAVE A VISUAL EXIT SIGN - "EXIT ROUTE"

project number 230707  
project director  
project designer  
project architect

revision	date	revision
06/02/25		DESIGN DEVELOPMENT
02/25/25		PLAN CHECK SUBMITTAL
12/10/25		PLAN CHECK SUBMITTAL #2

PLAN CHECK SUBMITTAL #2  
12/10/25

project key plan IN OXNARD ST



client / project

**21320 OXNARD ST. WARNER CENTER - PHASE 2**  
META DEVELOPMENT, LLC  
11150 W OLYMPIC BLVD, SUITE 620, LOS ANGELES, CA 90064

sheet name

**SITE PLAN**

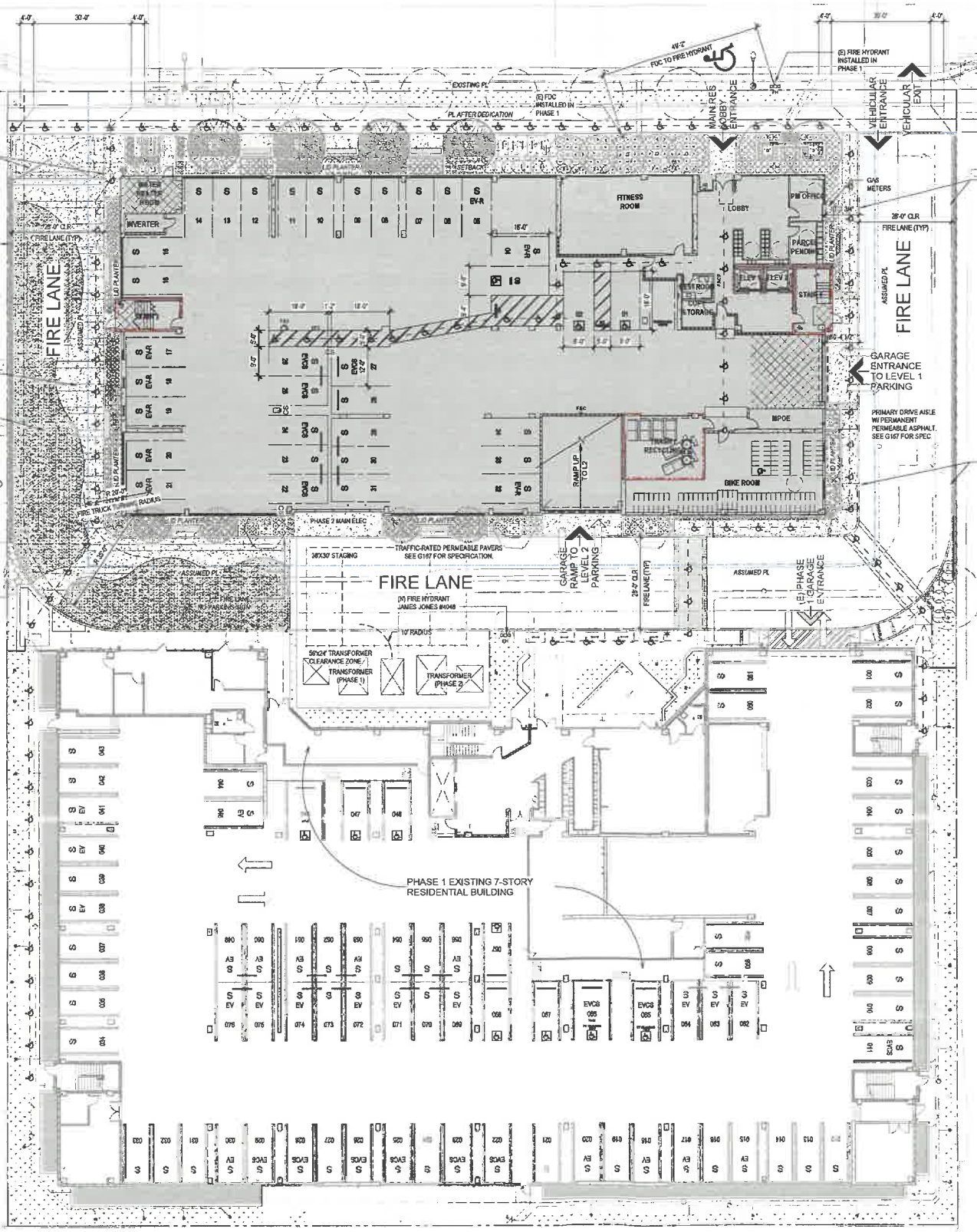
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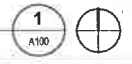
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11:19 am, Feb 17, 2026

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Case No. ADM-2023-6353-DB-SPP-HCA-ED1

**SITE PLAN**  
SCALE: 1/16" = 1'-0"



Autodesk, Inc. (2/2010) 21320 Oxnard Phase 2 MET Warner Center Phase 2 ARCH 02A101



**ACVARTIN**  
1740 WILSHIRE BOULEVARD SUITE 2600  
LOS ANGELES CA 90017 T 213 483 1900

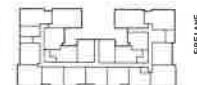
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Case No. ADM-2023-6353-DB-SPP-HCA-ED1

project number 2307027  
project director  
project designer  
project architect

no.	date	revision
20240225		DESIGN DEVELOPMENT
122925		PLAN CHECK SUBMITTAL #1
122925		PLAN CHECK SUBMITTAL #2

PLAN CHECK SUBMITTAL  
#2  
12/10/25

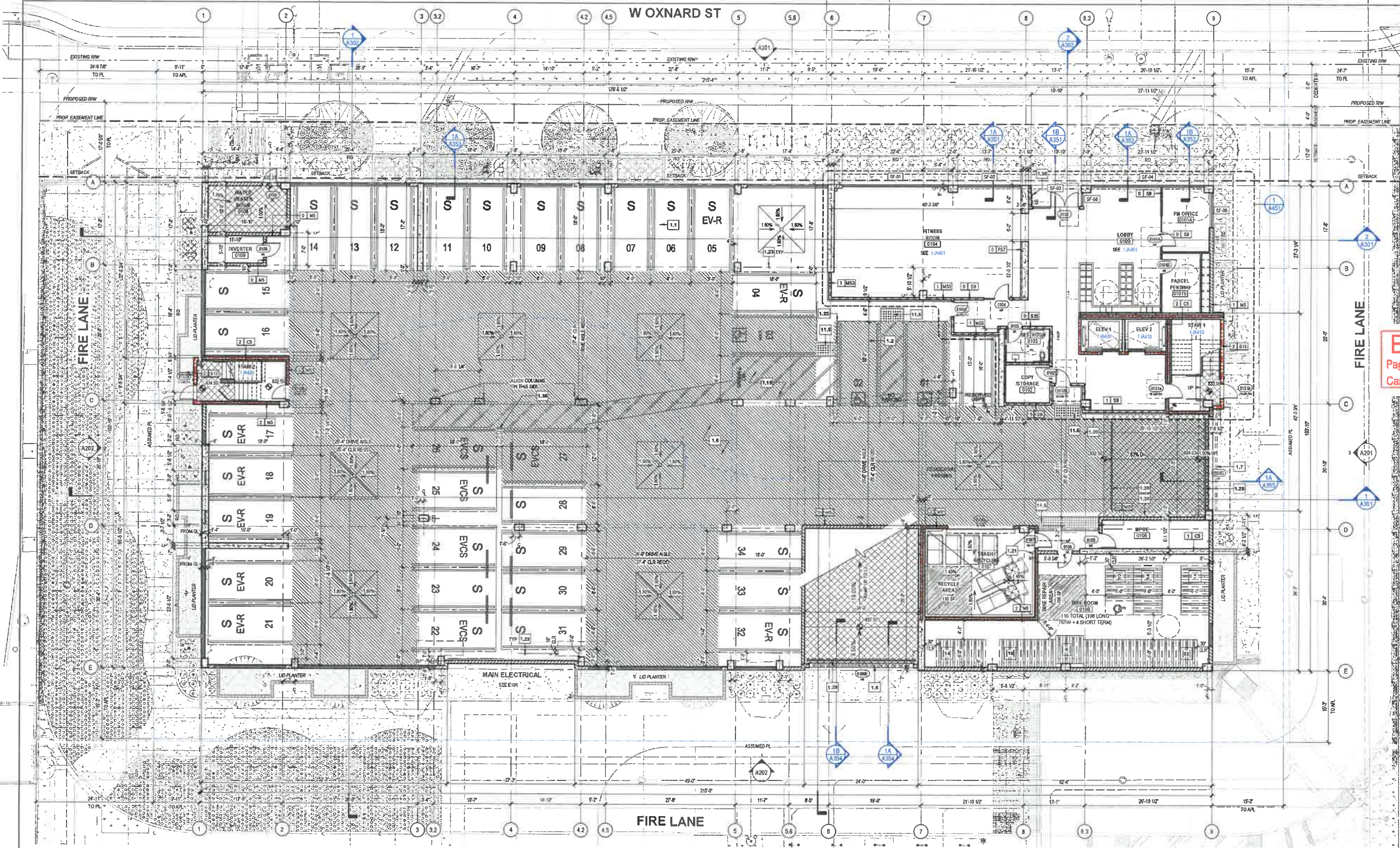


**21320 OXNARD ST. WARNER CENTER - PHASE 2**  
META DEVELOPMENT, LLC  
11150 W OLYMPIC BLVD, SUITE 620, LOS ANGELES, CA 90064

**LEVEL 1 - OVERALL FLOOR PLAN**

**A101**

sheet date 12/10/2025 4:30:54 PM



**LEVEL 1 - OVERALL FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

- GARAGE PLAN KEYNOTES**
- STANDARD PARKING STALL. SEE DETAIL 1A701
  - ACCESSIBLE PARKING STALL. SEE DETAIL 1A800
  - COMPACT PARKING STALL. SEE DETAIL 1A701
  - EV ADA CHARGING STATION. SEE DETAIL 1A800
  - LOW EMISSION VEHICLE. PARKING STALL TO BE MARKED "CLEAN AIR VEHICLE ONLY"
  - SHADE AREA INDICATES VEHICULAR PASSAGEWAYS TO AND FROM ACCESSIBLE PARKING SPACES. PROVIDE VERTICAL CLEARANCE OF 8'-0" FROM THE FLOOR TO ANY OBJECT.
  - 8'-2" AFF VERTICAL CLEARANCE BAR. SEE DETAIL 10A701
  - 7'-0" AFF VERTICAL CLEARANCE BAR. SEE DETAIL 10A701
  - CONCRETE OR CMU WALL. SEE STRUCTURAL. SEE DETAIL 10A712
  - PROVIDE WATER RESISTANT COATING ON TRASH ROOM WALLS
  - METAL FENCE. SEE DETAIL 6A702
  - CORNER GUARD AT OUTSIDE CORNERS OF STRUCTURAL ELEMENTS. ADJUST TO VEHICULAR CIRCULATION. TYP. SEE DETAIL 6A701
  - CHAIN LINK FENCE. SEE DETAIL 18.8.20A702
  - METAL TILT-UP GATE. SEE DETAIL 6A702
  - PARKING BARRIER ARM
  - ROLL-UP GATE (HIGH SPEED). SEE DETAIL 7A702 OR 8A702

- GARAGE PLAN KEYNOTES**
- PROVIDE GROUND AC OUTLET(S) FOR EV CHARGING STATIONS. SEE ELECTRICAL DWGS.
  - PROVIDE PRE-CONDUIT, WIRE-ABLE OUTLETS FOR FUTURE EV CHARGING STATIONS.
  - NO PARKING ZONE STRIPING. SEE DETAIL 16A701
  - CONCRETE CURB. SEE DETAIL 17A701
  - TRASH ROOM CURB. SEE DETAIL 17A701
  - CONCRETE EQUIPMENT PAD 6" HIGH. SEE MECHANICAL AND PLUMBING DRAWINGS FOR SIZE AND LOCATION. SEE DETAIL 13A701
  - BOLLARD. SEE DETAIL 4A701
  - PRECAST PROTECTION GUARD. SEE MECHANICAL FOR LOCATIONS OF DUCT DROPS. SEE DETAIL 14A702
  - BIKE RACK. SEE DETAIL 15A702. SEE SHEET G165.
  - STEEL CABLE RAIL. SEE DETAIL 3A702
  - 4" HIGH CMU VEHICLE BARRIER. SEE STRUCTURAL
  - TRENCH DRAIN. SEE DETAIL 8A701
  - DRAIN. SEE PLUMBING DRAWINGS.
  - SUMP PUMP. SEE PLUMBING DRAWINGS
  - SANITIAL INTERCEPTOR. SEE PLUMBING DRAWINGS.
  - WALL OPENING FOR DUCT OR LOUVER. SEE MECHANICAL DRAWINGS FOR DUCT OR LOUVER SIZE AND FOR FIRE DAMPER REQUIREMENTS. SEE DETAIL 11A701
  - SHAFT WITH FIRE DAMPERS AT DUCT PENETRATIONS
  - ACCESSIBLE PARKING SIGNAGE. SEE DETAIL 2A800.

- GARAGE PLAN KEYNOTES**
- EV CHARGING EQUIPMENT. SEE SPECIFICATIONS AND DETAIL 13A800. SEE ELEC. DWG.
  - PROVIDE 6" HIGH CONC. CURB. ELASTO-STOP 6001 ALMT DECKCOATING AT TRASHROOM FLOOR AND 8" UP THE WALL.
  - FILL IN THE GAP BETWEEN RAMP AND CONC. FLOOR WITH 8" CMU.
  - MAKE THE CONC. CURB AS HIGH AS THE LID PLANTER WALL.
  - SITE FENCE AND GATES. SEE A754. SEE LANDSCAPE DWG FOR MORE INFO.
  - CAVE DETECTION RAIL BETWEEN BOLLARDS @ MAX 27" H.
  - SOLID GROUT CMU/JCRC WALL BELOW. SEE STRUCTURAL
  - 4" HIGH CMU VEHICLE BARRIER. PROVIDE BOX OUT AS SHOWN REFER TO ENHANCED VAPOR BARRIER SYSTEM PLANS FOR DETAILS.

- GARAGE GENERAL NOTES**
- A MINIMUM UNOBSTRUCTED HEADROOM CLEARANCE OF 8'-2" WHEN ACCESS FOR DISABLED VEHICLES IS REQUIRED ABOVE FINISH FLOOR SHALL BE CLEAR OF ANY CEILING, BEAMS, PIPES, OR SIMILAR OBSTRUCTIONS AT ALL LOCATIONS IN PARKING GARAGE STRUCTURES.
  - FOR ALL WATERPROOFING BELOW GRADE DETAILS, SEE SHEET A703.
  - ALL CONSTRUCTION IN TYPE I TO BE NON-COMBUSTIBLE WITH NON-BEARING WALLS TO BE CONSTRUCTED WITH METAL STUDS.
  - FOR FIRE PENETRATION DETAILS REFER TO SHEET A890 - A892
  - PROVIDE ONE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2-A OR 3-A10BC WITHIN 75 FEET TRAVEL DISTANCE TO ALL PORTIONS OF THE BUILDING ON EACH FLOOR. ALSO DURING CONSTRUCTION FOR ELECTRIC VEHICLE NOTES
  - DOUBLE STRIPING OF STALLS SHALL BE PER ZONING CODE SECTION 12.21AS, CHART NO. 3 EXCEPT WITH INDIVIDUAL DWELLING UNITS. AN ACCESSIBLE ROUTE OF TRAVEL SHALL NOT PASS THROUGH KITCHENS, STORAGE ROOMS, RESTROOMS, CLOSETS OR OTHER SPACES USED FOR SIMILAR PURPOSES.
  - FOR ACCESSIBLE CLEARANCES AND SIGNAGE REFER TO DETAILS ON A801-A803.
  - TWO-WAY RADIO COMMUNICATION SYSTEM TO BE PROVIDED PER LAFD 510 AT AREA OF REFUGE (1008.8.9) AND ELEVATOR. SEE DETAIL 11.8.15A803
  - FOR THE FUTURE INSTALLATION OF ELECTRIC VEHICLE SUPPLY EQUIPMENT (EVSE), THE SERVICE PANEL (1008.8.9) AND ELEVATOR. SEE DETAIL 11.8.15A803
  - DEDICATED 40 AMPERE MINIMUM BRANCH CIRCUIT(S) SEE ENLARGED BUILDING PLANS FOR WALL SCHEDULES, DRAINAGE, DIMENSIONS, DETAILS & ADDITIONAL INFORMATION

- GARAGE PLAN LEGEND**
- EXIT SIGN
  - FIRE EXTINGUISHER CABINET - SEE DETAIL 2.3A800
  - KEY BOX / KNOX BOX
  - CLASS I STANDPIPE - SEE DETAIL 17A732
  - HORSE BEL (SEE PLUMBING/MECH DRAWINGS (WHERE APPLICABLE))
  - AREA DRAIN - SLOPE PER PLAN - SEE DETAIL 4.1A740 (SEE PLUMBING DWGS)
  - EMERGENCY DRAIN - SLOPE PER PLAN (SEE PLUMBING DWGS)
  - DECK DRAIN - SLOPE AREA 2% TO DRAIN- 7A740 (SEE PLUMBING DWGS)
  - PLANTER DRAIN - SEE LANDSCAPE / PLUMB DWGS
  - INDICATES VERTICAL CLEARANCE ZONE FOR ACCESSIBLE VEHICLES. MAINTAIN MINIMUM 8'-2" CLEAR HEIGHT TO ANY OBJECT.
  - INDICATES SLAB STEP OR SLOPE
  - STANDARD STALL
  - EV-R EV-READY STALL
  - EVCS EV-CHARGING STATION
  - ACCESSIBLE STALL

- WALL TYPE LEGEND**
- FIRE BARRIERS
    - 0 = NON RATED
    - 1 = ONE HOUR RATED
    - 2 = TWO HOUR RATED
    - 3 = THREE HOUR RATED
    - 4 = FOUR HOUR RATED
  - WALL MATERIALS
    - W = WOOD STUD - SEE A710
    - S = STEEL STUD - SEE A717
    - M = CMU - SEE 10A712
    - C = CONCRETE - SEE 12A712
    - FW = FIRE WALL - SEE A716
  - WOOD STUD PARTITION (1-HOUR OR NON-RATED AS INDICATED ON PLANS)
  - STEEL STUD PARTITION (1-HOUR OR NON-RATED AS INDICATED ON PLANS)
  - DETAIL NUMBER ON REFERENCED SHEET

AutoCAD Drawing: 2307027-1300 Garage Phase 2/MECH/Overall Phase 2\_A101.rvt



AC MARTIN  
900 WILSHIRE BOULEVARD SUITE 2808  
LOS ANGELES, CA 90017 713 483 1180

**REVISED**  
11:20 am, Feb 17, 2026

**EXHIBIT "A"**  
Page No. 33 of 57  
Case No. ADM-2023-6353-DB-SPP-HCA-ED1

project number 2307027  
project director  
project designer  
project architect

Revisions table with columns: no., date, revision. Includes entries for design development, plan check submittal #1, and plan check submittal #2.

PLAN CHECK SUBMITTAL #2  
12/10/25

project key plan W OXNARD ST



client / project

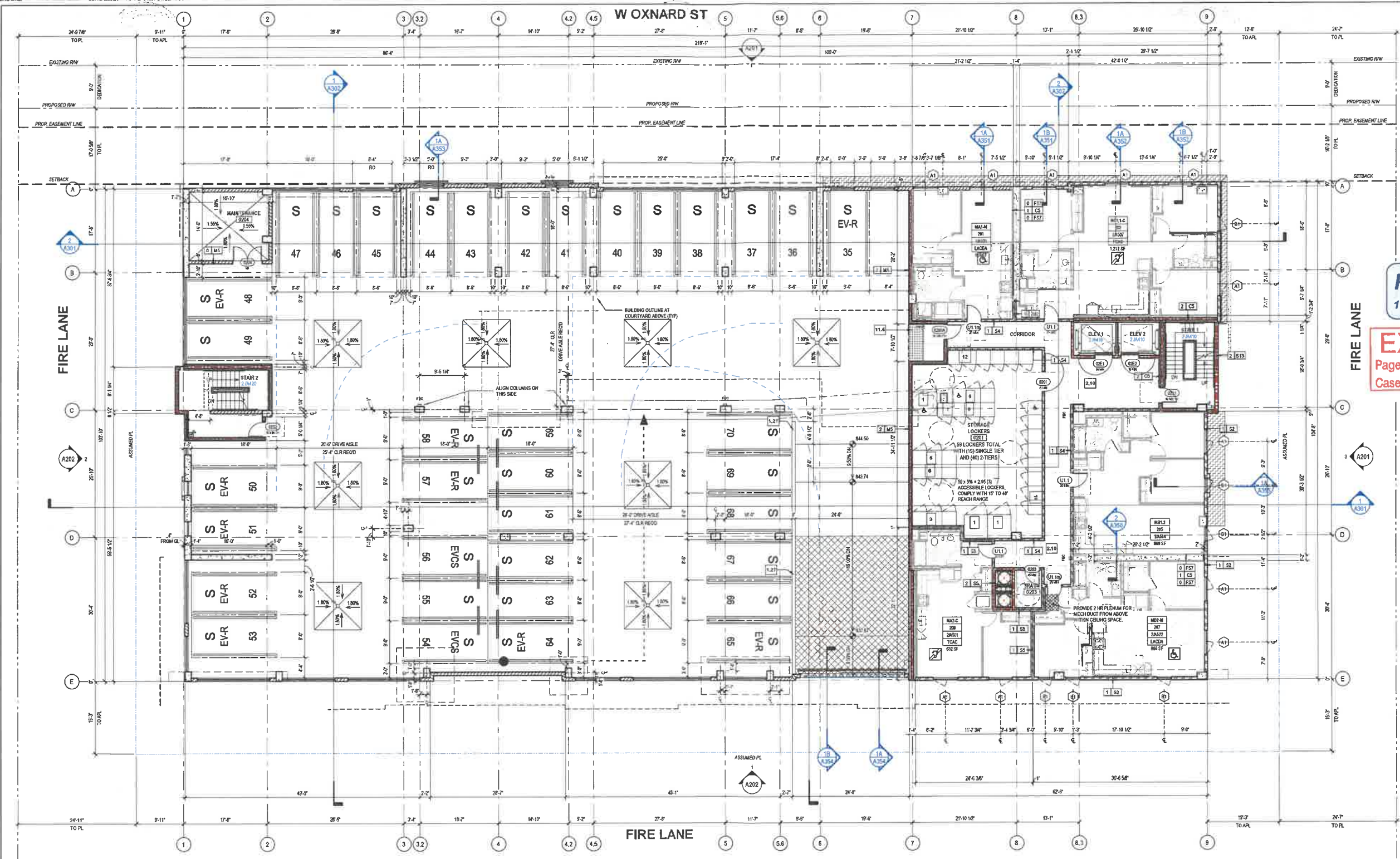
**21320 OXNARD ST. WARNER CENTER - PHASE 2**  
META DEVELOPMENT, LLC  
11150 W OLYMPIC BLVD, SUITE 620,  
LOS ANGELES, CA 90064

about name

**LEVEL 2 - OVERALL FLOOR PLAN**

**A102**

sheet number  
date 12/10/2025 4:32:01 PM



**LEVEL 2 - OVERALL FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

**GARAGE PLAN KEYNOTES**

- 1.1 STANDARD PARKING STALL. SEE DETAIL 1A1701
1.2 ACCESSIBLE PARKING STALL. SEE DETAIL 1A900
1.3 COMPACT PARKING STALL. SEE DETAIL 2A1701
1.4 EV ADA CHARGING STATION. SEE DETAIL 13A900
1.5 LOW EMISSION VEHICLE PARKING STALLS TO BE MARKED "CLEAN AIR VEHICLE POOL"
1.6 SHADED AREA INDICATES VEHICULAR PASSAGEWAYS TO AND FROM ACCESSIBLE PARKING SPACES. PROVIDE VERTICAL CLEARANCE OF 8'-2" FROM THE FLOOR TO ANY OBJECT.
1.7 8'-2" AFF VERTICAL CLEARANCE BAR. SEE DETAIL 10A1701
1.8 7'-0" AFF VERTICAL CLEARANCE BAR. SEE DETAIL 10A1701
1.9 CONCRETE OR CMU WALL. SEE STRUCTURAL. SEE DETAIL 5A172
1.10 PROVIDE WATER RESISTANT COATING ON TRASH ROOM WALLS
1.11 METAL FENCE. SEE DETAIL 6A1702
1.12 CORNER GUARD AT OUTSIDE CORNERS OF STRUCTURAL ELEMENTS, ADJACENT TO VEHICULAR CIRCULATION, TYP. SEE DETAIL 6A1701
1.13 CHAIN LINK FENCE. SEE DETAIL 16 & 20A1702
1.14 METAL TILT-UP GATE. SEE DETAIL 6A1702
1.15 PARKING BARRIER ARM
1.16 ROLL-UP GATE (MAX SPEED). SEE DETAIL 17A1702 OR 8A1702

**GARAGE PLAN KEYNOTES**

- 1.17 PROVIDE GROUND AIR OUTLET(S) FOR EV CHARGING STATIONS. SEE ELECTRICAL DWGS
1.18 PROVIDE PRE-CONDUIT, WIRE-ABLE OUTLETS FOR FUTURE EV CHARGING STATIONS
1.19 NO PARKING ZONE STRIPING. SEE DETAIL 16A1701
1.20 CONCRETE CURB. SEE DETAIL 17A1701
1.21 TRASH ROOM CURB. SEE DETAIL 17C1701
1.22 CONCRETE EQUIPMENT PAD 8" HIGH. SEE MECHANICAL AND PLUMBING DRAWINGS FOR SIZE AND LOCATION. SEE DETAIL 13A1701
1.23 BOLLARD. SEE DETAIL 4A1701
1.24 PRODUCT PROTECTION GUARD. SEE MECHANICAL FOR LOCATIONS OF DUCT DROPS. SEE DETAIL 11A1702
1.25 BIKE RACK. SEE DETAIL 13A1702. SEE SHEET G185
1.26 STEEL CABLE RAIL. SEE DETAIL 3A1702
1.27 42" HIGH CMU VEHICLE BARRIER. SEE STRUCTURAL
1.28 TRENCH DRAIN. SEE DETAIL 8A1701
1.29 DRAIN. SEE PLUMBING DRAWINGS
1.30 SLUMP PUMP. SEE PLUMBING DRAWINGS
1.31 SANDIOL INTERCEPTOR. SEE PLUMBING DRAWINGS
1.32 WALL OPENING FOR DUCT OR LOUVER. SEE MECHANICAL DRAWINGS FOR DUCT OR LOUVER SIZE AND FOR FIRE DAMPER REQUIREMENTS. SEE DETAIL 11A1701
1.33 SHAFT WITH FIRE DAMPERS AT DUCT PENETRATIONS
1.34 ACCESSIBLE PARKING SIGNAGE. SEE DETAIL 2A900.

**GARAGE PLAN KEYNOTES**

- 1.35 EV CHARGING EQUIPMENT. SEE SPECIFICATIONS AND DETAIL 13A900. SEE ELEC DWG
1.36 PROVIDE 6" HIGH CONIC CURB
1.37 ELASTO-DECK 6001 ALHT DECKCOATING AT TRASH ROOM FLOOR AND UP THE WALL
1.38 FILL IN THE GAP BETWEEN RAMP AND CONC. FLOOR WITH 8" CMU
1.39 MAKE THE CONC. CURB AS HIGH AS THE LID PLANTER WALL SITE FENCE AND GATES. SEE AT54. SEE LANDSCAPE DWG FOR MORE INFO.
1.40 DARK DETECTION RAIL BETWEEN BOLLARDS @ MAX 37" H
1.41 SOLID GROUT CMU/CONC WALL BELOW. SEE STRUCTURAL RADON GAS SUB-SLAB VENT PIPE. PROVIDE BOX OUT AS SHOWN. REFER TO ENHANCED VAPOR BARRIER SYSTEM PLANS FOR DETAILS
1.42
1.43

**GARAGE GENERAL NOTES**

- 1. A MINIMUM UNOBSTRUCTED HEADROOM CLEARANCE OF 8'-2" WHEN ACCESS FOR DISABLED VEHICLES IS REQUIRED ABOVE FINISH FLOOR SHALL BE CLEAR OF ANY CEILING BEAMS, PIPES, OR SIMILAR OBSTRUCTIONS AT ALL LOCATIONS IN PARKING GARAGE STRUCTURES.
2. FOR ALL WATERPROOFING BELOW GRADE DETAILS, SEE SHEET A703
3. ALL CONSTRUCTION IN TYPE 1 TO BE NON-COMBUSTIBLE WITH NON-BEARING WALLS TO BE CONSTRUCTED WITH METAL STUDS
4. FOR FIRE PENETRATION DETAILS REFER TO SHEET A810 - A82
5. PROVIDE ONE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2-A OR 2-A10BC WITHIN 75 FEET TRAVEL DISTANCE TO ALL PORTIONS OF THE BUILDING ON EACH FLOOR ALSO DURING CONSTRUCTION FOR ELECTRIC VEHICLE NOTES
6. DOUBLE STRIPING OF STALLS SHALL BE PER ZONING CODE SECTION 12.21A5, CHART NO. 5
7. EXCEPT WITHIN INDIVIDUAL DWELLING UNITS, AN ACCESSIBLE ROUTE OF TRAVEL SHALL NOT PASS THROUGH KITCHENS, STORAGE ROOMS, RESTROOMS, CLOSETS OR OTHER SPACES USED FOR SIMILAR SPACES
8. FOR ACCESSIBLE CLEARANCES AND SIGNAGE REFER TO DETAILS ON A901-A903
9. TWO-WAY RADIO COMMUNICATIONS AND SIGNAGE REFER TO DETAILS ON A901-A903
10. AREA DRAIN - SLOPE PER PLAN - SEE DETAIL 4.1A1740 (SEE PLUMBING DWGS)
11. FOR THE FUTURE INSTALLATION OF ELECTRIC VEHICLE SUPPLY EQUIPMENT (EVSE), THE SERVICE PANEL OR SUBPANEL(S) SHALL HAVE SUFFICIENT CAPACITY TO ACCOMMODATE THE REQUIRED NUMBER OF DEDICATED 40 AMPERE MINIMUM BRANCH CIRCUIT(S) (SEE ENLARGED BUILDING PLANS FOR WALL SCHEDULES, DRAINAGE, DIMENSIONS, DETAILS & ADDITIONAL INFORMATION)

**GARAGE PLAN LEGEND**

- EXIT SIGN
FIRE EXTINGUISHER CABINET - SEE DETAIL 2.3A900
KEY BOX / KNOX BOX
CLASS I STANDPIPE - SEE DETAIL 17A1732
HOSE BIB. SEE PLUMBING/MECH DRAWINGS (WHERE APPLICABLE)
AREA DRAIN - SLOPE PER PLAN - SEE DETAIL 4.1A1740 (SEE PLUMBING DWGS)
EMERGENCY DRAIN - SLOPE PER PLAN (SEE PLUMBING DWGS)
PLANTER DRAIN. SEE LANDSCAPE / PLUMB DWGS

**WALL TYPE LEGEND**

- INDICATES VERTICAL CLEARANCE ZONE FOR ACCESSIBLE VEHICLES. MAINTAIN MINIMUM 8'-2" CLEAR HEIGHT TO ANY OBJECT.
INDICATES SLAB STEP OR SLOPE
STANDARD STALL
EV-R EV-READY STALL
EVCS EV-CHARGING STATION
ACCESSIBLE STALL

AutoCAD: Sheet: 12/10/25 21320 Warner Center Phase 2 - Level 2 - Overall Floor Plan - A102 - Rev 1.4



**AC MARTIN**  
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**REVISED**  
11:20 am, Feb 17, 2026

**EXHIBIT "A"**  
Page No. 34 of 57  
Case No. ADM-2023-6353-DB-SP-HCA-ED1

project number: 2307027  
project director:  
project designer:  
project architect:

revision	date	revision
08/08/25		DESIGN DEVELOPMENT
10/06/25		PLAN CHECK SUBMITTAL
12/10/25		PLAN CHECK SUBMITTAL #2

project status:  
**PLAN CHECK SUBMITTAL #2**  
12/10/25



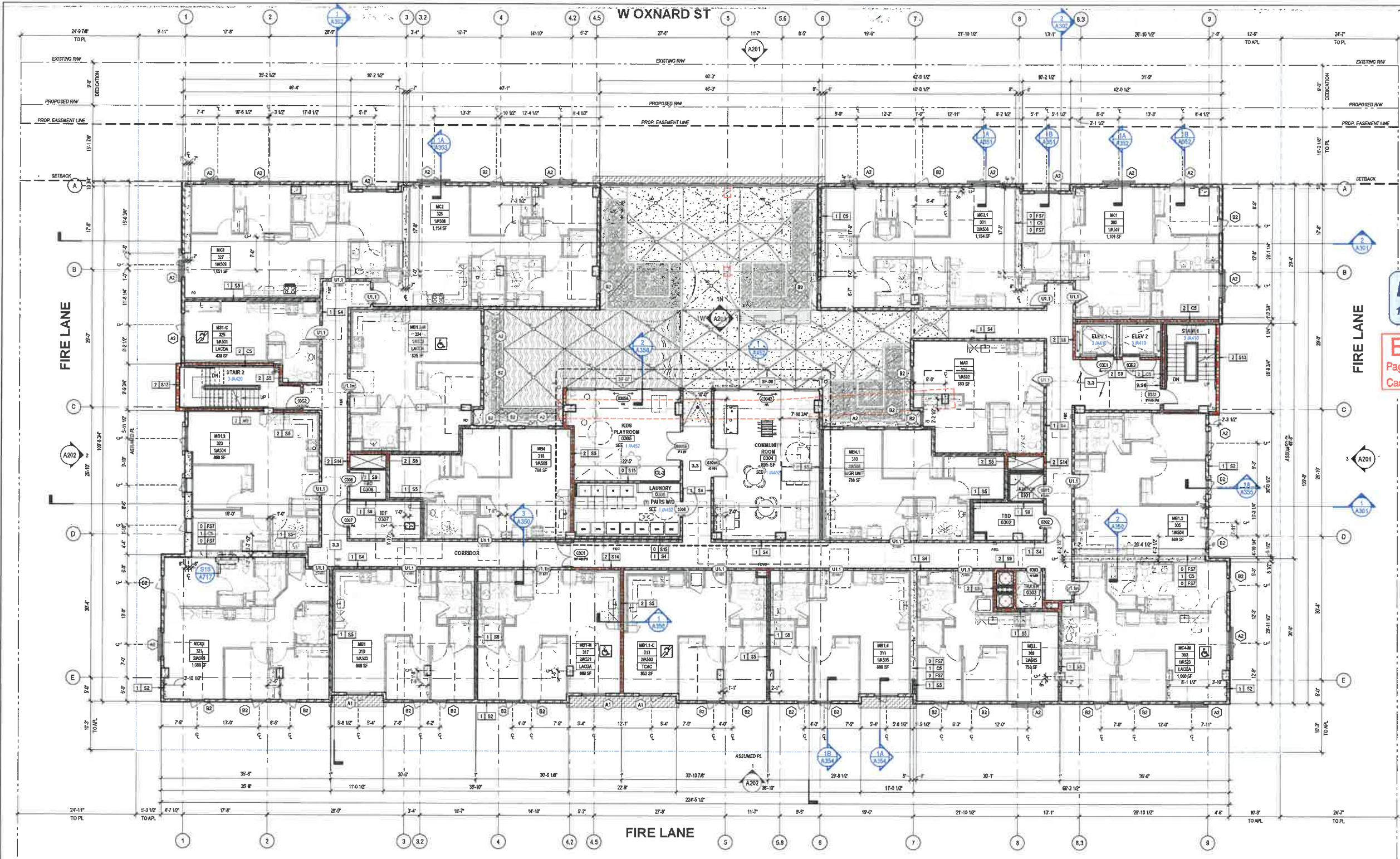
client/project:  
**21320 OXNARD ST. WARNER CENTER - PHASE 2**

**21320 OXNARD ST. WARNER CENTER - PHASE 2**  
META DEVELOPMENT, LLC  
11150 W OLYMPIC BLVD,  
SUITE 620,  
LOS ANGELES, CA 90064

**LEVEL 3 (COURTYARD) - OVERALL FLOOR PLAN**

**A103**

plot date: 12/10/2025 4:32:48 PM



**LEVEL 3 (COURTYARD) - OVERALL FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

- BUILDING KEYNOTES**
- 2.11 ENCLOSURES UNDER STAIRWAY NEED TO BE 2 HR RATED WITH 90 MIN DOORS.
  - 2.12 2-HOUR CEILING ASSEMBLY.
  - 3.1 1-HOUR INTERIOR CORRIDOR - 8" CEILING HEIGHT MINIMUM WITH CARPET FINISH AT FLOOR. ALL UNIT ENTRY DOORS TO BE 20 MIN. RATED UNLESS NOTED OTHERWISE. SEE DETAIL 12A113.
  - 3.2 1-HOUR EXTERIOR CORRIDOR WALL UNIT ENTRY DOORS 20-MINUTE RATED. 8" CEILING HEIGHT MINIMUM WITH CONCRETE TOPPING AT FLOOR & STUCCO FINISH AT WALLS & CEILING. SEE DETAIL 2A114.
  - 3.3 1-HOUR SHAFT. SEE DETAIL 5A170.
  - 3.4 2-HOUR SHAFT. SEE MECHANICAL FOR ADDITIONAL INFORMATION. SEE DETAIL 6A170 & 12A171.
  - 3.5 2-HOUR TRASH CHUTE SHAFT. SEE DETAIL 9A170.
  - 3.6 FIRE EXTINGUISHER CABINET SEE DETAIL 3A500. PROVIDE CABINET WITHIN 7' OF END OF CORRIDORS & A MAXIMUM 150' O.C. VERIFY LOCATION WITH FIRE DEPARTMENT BEFORE INSTALLATION.
  - 3.7 1-HOUR EXTERIOR NON-BEARING WALLS FRAMED WITH APPROVED FIRE RETARDANT LUMBER AT TYPE IIA CONSTRUCTION. SEE DETAIL 10A110.
  - 3.8 2-HOUR EXTERIOR BEARING WALLS FRAMED WITH APPROVED FIRE RETARDANT TREATED LUMBER AT TYPE IIA CONSTRUCTION. SEE DETAIL 10A110.
  - 3.9 3-HOUR FIRE WALL WITH 3-HOUR PROTECTED OPENINGS. SEE SHEET A716.

- BUILDING KEYNOTES**
- 3.10 HORIZONTAL EXIT: 3-HOUR FIRE WALL WITH 3-HOUR PROTECTED OPENING PER DETAIL. PROVIDE STAIRS LOCATED WITHIN 130' OF EACH SIDE OF THE HORIZONTAL EXIT DOOR OPENINGS.
  - 3.11 42" HIGH QUADRAL A.F.F.
  - 3.12 FLOOR TRANSITION. SEE DETAIL 17A800.
  - 3.13 EXTERIOR STUCCO CORRIDOR TRANSITION TO INTERIOR DRYWALL CORRIDOR. SEE DETAIL 7A800.
  - 3.14 78" X 8" RECESSED WALK-OFF MAT
  - 3.15 FOR ELEVATOR SHAFT WALL ALIGNMENT, SEE DETAIL 14A170.
  - 3.16 SEISMIC JOINT. SEE SHEET A735.
  - 3.17 TWO-WAY COMMUNICATION SYSTEM AT ELEVATOR LANDING. SEE DETAILS 11 & 15A803.
  - 3.18 FLOOR DRAIN. SEE DETAIL 4A170 FOR WOOD FRAMING AND 4.14A171 FOR CONCRETE SLAB.
  - 3.19 INTERIOR METAL STUD CORRIDORS. SEE DETAILS 4A117 AND 2A125.
  - 3.20 HSB BEAM / COLUMN. SEE STRUCTURAL DRAWINGS.
  - 3.21 FIRE ALARM ANNUNCIATOR. PANEL SIZE AND MOUNT HEIGHT SHALL NOT PROTRUDING ACCESSIBLE ROUTE PER CBC 11B-307.2.
  - 3.22 INTERCOMMODOR READER/PUSH BUTTON FOR ENTRANCE DOOR ON PEDESTAL. GO TO PROVIDE CONC. BASE FOR PEDESTAL. SEE L.V. DRAWINGS. PROVIDE POWER. PROVIDE KEY KEYS FOR USBS.

- BUILDING KEYNOTES**
- 3.23 INTERCOMMODOR PUSH BUTTON FOR ENTRANCE DOOR ON THE WALL IN THE LOBBY. PANEL SIZE AND MOUNT HEIGHT SHALL NOT PROTRUDING ACCESSIBLE ROUTE PER CBC 11B-307.2.
  - 3.24 INTERCOMMODOR READER FOR ROLL-UP GATE. SEE LOW VOLTAGE DRAWING. PROVIDE POWER.
  - 3.25 BOX OUT FOR DRAIN LINE. SEE DETAIL 19A170.
  - 3.26 EXTERIOR CORRIDOR SOFFIT VENT. SEE DETAIL 13A105.
  - 3.27 ACTUATOR FOR ENTRANCE DOOR OPENER, WITH INTERNATIONAL SYMBOL OF ACCESSIBILITY.
  - 3.28 ROLLER SHADERS AT ALL OFFICE/COMMON AREA WINDOWS. TYP.
  - 3.29 KENT DROP BOX. MAX 48" TO OPENING SLOT. SEE DETAIL 20A100.
  - 3.30 SEE RADON GAS MITIGATION SYSTEM DRAWINGS FOR HABITABLE SPACES, STAIRS, ELEC. RM, TRASH RM AND STORAGE SPACES.
  - 3.31 POUR-IN-PLACE RUBBER MAT PER LANDSCAPE DWG. DUAL STAGE DRAINS SHALL BE ON TOPPING SLAB BELOW RUBBER MAT. NO INLETS ON RUBBER MAT.
  - 3.32 ADD ONE LAYER OF 5/8" GYP. TO MAKE UP FOR THE THICKNESS. TYP. @ 14-18" TO 2-4" WALL TRANSITION.
  - 3.33 CMU WALL WITH PLASTER FINISH ON BOTH SIDES. SEE ELEVATION FOR CONTROL JOINTS. SEE 37/42.
  - 3.34 BBO FOR LANDSCAPE. SEE A814 AND LANDSCAPE DWGS FOR MORE INFO.
  - 3.35 PLASTER WALL WITH 1/2" R. FINISH. SEE 10A171. SEE 10A171 FOR FINISH. SEE DETAIL FOR FINISH. SEE 10A171. SEE 10A171. SEE 10A171.
  - 3.36 PROVIDE PLASTER ON BOTH SIDES.
  - 3.37 IRRIGATION CONTROLLER SHALL BE SOL OR WEATHER RESISTANT. SEE LANDSCAPE DWG.

- FLOOR PLAN GENERAL NOTES**
1. PROVIDE ILLUMINATED EXIT SIGNS IN ALL INTERIOR EXIT CORRIDORS IN GROUP A & R-2 OCCUPANCIES PER CBC SECTION 1011.
  2. PROVIDE ONE FIRE EXTINGUISHER WITH A MINIMUM RATING OF 2A:10BC WITH A MAXIMUM TRAVEL DISTANCE OF 75' TO ALL OCCUPIED PORTIONS OF BUILDING. SEE DETAIL 2 & 3A800.
  3. ALL EXTERIOR WALLS OF TYPE IIA CONSTRUCTION TO BE FRAMED WITH FIRE RETARDANT WOOD INCLUDING STUDS, BLOCKS, PLATE BACKING, SHEAR PANELS & FIRST LAYER OF FLOOR SHEATHING ADJACENT TO EXTERIOR WALL. ALL LUMBER PRODUCTS HAVING A FIRE RESISTANCE RATING OF 3 HOURS.
  4. FOR ACCESSIBLE/ENTRY DETAILS. SEE DETAIL 1A801.
  5. FOR FLASHING AND PENETRATION DETAILS. SEE SHEET A773, A774, A780 & A781.
  6. ALL OPENINGS IN FIRE WALLS SHALL BE PROTECTED WITH SELF-CLOSING FIRE ASSEMBLIES HAVING A FIRE RESISTANCE RATING OF 3 HOURS.
  7. DUCTS AND AIR TRANSFER OPENINGS THROUGH FIRE WALLS SHOULD BE AVOIDED, IF ALLOWED, DUCT AND AIR TRANSFER OPENING PENETRATIONS SHALL BE PROTECTED AS REQUIRED BY SECTIONS 714 AND 177. DAMPERS WITH A 3-HOUR RATING ARE REQUIRED.
  8. FOR ACCESSIBLE CLEARANCES AND SIGNAGE REFER TO DETAILS ON SHEETS A901 A903.
  9. TWO-WAY RADIO COMMUNICATION SYSTEM TO BE PROVIDED PER LAFD 510. SEE DETAIL 11 & 15A903.
  10. AT LOCATIONS WHERE THIS WALL ASSEMBLY NO LONGER REQUIRES A SHEAR PANEL ON STRUCTURAL PLANE, MAINTAIN ASSEMBLY THICKNESS & ACUSTIC VALUE BY CONTINUOUS WOOD SHEATHING OR A BASE LAYER OF GYPSUM BOARD CAN REPLACE A LAYER OF WOOD SHEATHING OF SIMILAR THICKNESS.
  11. FOR FIRE PROOFING STEEL COLUMNS SEE DETAILS ON SHEET A721 AND A725.

- WALKING SURFACE LEGEND**
- CONCRETE TOPPING ON STRUCTURAL CONCRETE SLAB SEE A743 FOR DETAILS
  - CONCRETE TOPPING ON WOOD FRAMING SEE A740 FOR DETAILS
  - DECK COATING ON CONCRETE SEE A741 FOR DETAILS
  - BATHROOM FLOOR DEPRESSION W/ CEMENTITIOUS FILLER. SEE FINISH SCHEDULE FOR FLOORING
  - NOTE: SLOPE DECK 1.8% MAX. NO WALKING SURFACE CAN EXCEED 1.8%.
  - BUILT-UP OR RAISED CONCRETE SLAB OVER STRUCTURAL FOAM. REFER TO STRUCTURAL DRAWINGS
  - WHERE BS. SEE PLUMBING/GBM DRAWINGS (WHERE APPLICABLE)

- ROOM SYMBOL LEGEND**
- RESIDENTIAL UNIT IDENTIFICATION SYMBOL
- UNIT # - UNIT TYPE
  - UNIT # - UNIT NUMBER
  - UNIT # - ENLARGED PLAN REFERENCE
  - MOBILITY - MOBILITY/COMMUNICATION UNITS
- ROOM IDENTIFICATION SYMBOL
- ROOM - ROOM NAME
  - UNIT # - ENLARGED PLAN REFERENCE

- WALL TYPE LEGEND**
- FIRE RATING
- 0 = NON RATED
  - 1 = ONE HOUR RATED
  - 2 = TWO HOUR RATED
  - 3 = THREE HOUR RATED
  - 4 = FOUR HOUR RATED
- WALL MATERIAL
- W = WOOD STUD - SEE A710
  - S = STEEL STUD - SEE A717
  - M = CMU - SEE 12A172
  - C = CONCRETE - SEE 12A172
  - FW = FIRE WALL - SEE A716
- DETAIL NUMBER ON REFERENCED SHEET

Autodesk Docs/2/25/2025 2:18:00 Client: Phase 2/META-Contract Plans - L\_00001\_12414



**AC MARTIN**  
763 WILSHIRE BOULEVARD SUITE 2000  
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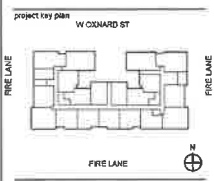
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11:20 am, Feb 17, 2026

**EXHIBIT "A"**  
Page No. 35 of 57  
Case No. ADM-2023-6353-DB-SPP-HCA-ED1

project number: 2307027  
project director:  
project designer:  
project architect:

no.	date	revision
08/04/25		DESIGN DEVELOPMENT
10/29/25		PLAN CHECK SUBMITTAL
12/10/25		PLAN CHECK SUBMITTAL #2

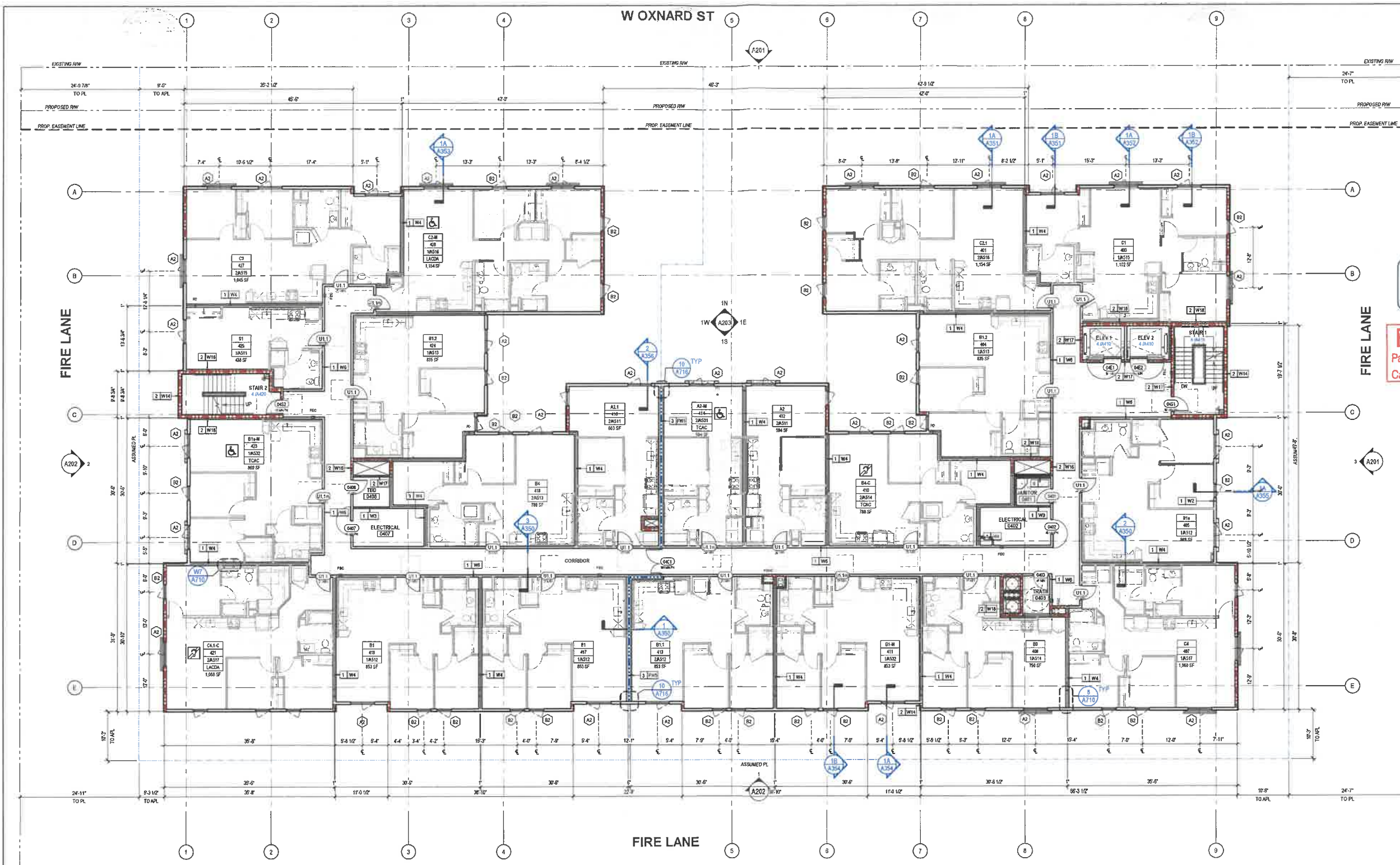
project status:  
**PLAN CHECK SUBMITTAL #2**  
12/10/25



**21320 OXNARD ST. WARNER CENTER - PHASE 2**  
META OLYMPIC, LLC  
11150 W OLYMPIC BLVD,  
SUITE 620,  
LOS ANGELES, CA 90064

**LEVEL 4 (PODIUM) - OVERALL FLOOR PLAN**

**A104**  
sheet date: 12/10/2023 4:33:27 PM



**LEVEL 4 (PODIUM) - OVERALL FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

<p><b>BUILDING KEYNOTES</b></p> <p>2.11 ENCLOSURES UNDER STAIRWAY NEED TO BE 2-HR RATED WITH 10 MIN OCCURS.</p> <p>2.12 2-HOUR CEILING ASSEMBLY.</p> <p>3.1 1-HOUR INTERIOR CORRIDOR - 8'-0" CEILING HEIGHT MINIMUM WITH CARPET FINISH AT FLOOR. ALL UNIT ENTRY DOORS TO BE 20 MIN. RATED UNLESS NOTED OTHERWISE. SEE DETAIL 10A110.</p> <p>3.2 1-HOUR EXTERIOR CORRIDOR W/ ALL UNIT ENTRY DOORS 20-MINUTE RATED 8'-0" CEILING HEIGHT MINIMUM WITH CONCRETE TOPPING AT FLOOR &amp; STUCCO FINISH AT WALLS &amp; CEILING. SEE DETAIL 2A1714.</p> <p>3.3 1-HOUR SHAFT. SEE DETAIL 8A130.</p> <p>3.4 2-HOUR SHAFT. SEE MECHANICAL FOR ADDITIONAL INFORMATION. SEE DETAIL 8A1700 &amp; 12A1751.</p> <p>3.5 2-HOUR TRASH CHUTE SHAFT. SEE DETAIL 8A130.</p> <p>3.6 FIRE EXTINGUISHER CABINET SEE DETAIL 3A100. PROVIDE CABINET WITHIN 75' OF END OF CORRIDORS &amp; A MAXIMUM 150' O.C. VERIFY LOCATION WITH FIRE DEPARTMENT BEFORE INSTALLATION.</p> <p>3.7 1-HOUR EXTERIOR NON-BEARING WALLS FRAMED WITH APPROVED FIRE RETARDANT LUMBER AT TYPE IIA CONSTRUCTION. SEE DETAIL 2A1710.</p> <p>3.8 2-HOUR EXTERIOR BEARING WALLS FRAMED WITH APPROVED FIRE RETARDANT TREATED LUMBER AT TYPE IIA CONSTRUCTION. SEE DETAIL 1A14710.</p> <p>3.9 3-HOUR FIRE WALL WITH 3-HOUR PROTECTED OPENINGS. SEE SHEET A716.</p>	<p><b>BUILDING KEYNOTES</b></p> <p>3.10 HORIZONTAL EXT. 2-HOUR FIRE WALL WITH 2-HOUR PROTECTED OPENING PER DETAIL. PROVIDE STAIRWELL LOCATED WITHIN 150' OF EACH SIDE OF THE HORIZONTAL EXT. DOOR OPENINGS.</p> <p>3.11 42" HIGH GUARDRAIL, A.F.F.</p> <p>3.12 FLOOR TRANSITION. SEE DETAIL 17A600.</p> <p>3.13 EXTERIOR STUCCO CORRIDOR TRANSITION TO INTERIOR DRYWALL CORRIDOR. SEE DETAIL 7A1000.</p> <p>3.14 78" X 60" RECESSED WALK-OFF MAT FOR ELEVATOR SHAFT WALL ALIGNMENT. SEE DETAIL 1-4A1730.</p> <p>3.15 SISING JOINT. SEE SHEET A735.</p> <p>3.16 TWO-WAY COMMUNICATION SYSTEM AT ELEVATOR LANDING. SEE DETAILS 11 &amp; 15A1003.</p> <p>3.17 FLOOR DRAIN. SEE DETAIL 4A1740 FOR WOOD FRAMING AND 4.1A1741 FOR CONCRETE SLAB.</p> <p>3.18 INTERIOR METAL STUD CORRIDOR. SEE DETAILS 4A1717 AND 2A1725.</p> <p>3.19 HSS BEAM / COLUMN. SEE STRUCTURAL DRAWINGS.</p> <p>3.20 FIRE ALARM ANNUNCIATOR, PANEL SIZE AND MOUNT HEIGHT SHALL NOT PROTRUDE ACCESSIBLE ROUTE PER CBC 11B-07.2.</p> <p>3.22a INTERCOM/PUSH BUTTON FOR ENTRANCE DOOR ON THE WALL IN THE LOBBY, PANEL SIZE AND MOUNT HEIGHT SHALL NOT PROTRUDE ACCESSIBLE ROUTE PER CBC 11B-07.2. SEE L.V. DRAWINGS. PROVIDE POWER.</p> <p>3.22b INTERCOM/PUSH BUTTON FOR ROLL-UP GATE. SEE LOW VOLTAGE DRAWING. PROVIDE POWER.</p> <p>3.23 BOX OUT FOR DRAIN LINE. SEE DETAIL 19A1712.</p> <p>3.24 EXTERIOR CORRIDOR SMOKE VENT. SEE DETAIL 13A1005.</p> <p>3.25 ACTUATOR FOR ENTRANCE DOOR OPENER, WITH INTERNATIONAL SYMBOL OF ACCESSIBILITY.</p> <p>3.26 ROLLER SHADES AT ALL OFFICE/COMMON AREA WINDOWS. TYP.</p> <p>3.27 RENT DROP BOX, MAX 48" TO OPENING SLOT. SEE DETAIL 20A1000.</p> <p>3.28 SEE RADON GAS MITIGATION SYSTEM DRAWINGS FOR HABITABLE SPACES, STAIRS, ELEC. RM, TRASH RM AND STORAGE SPACES.</p> <p>3.29 FOUR IN-PLACE RUBBER MAT PER LANDSCAPE DWG. DUAL STAGE DRAINS SHALL BE ON TOPPING SLAB BELOW RUBBER MAT. NO INLETS ON RUBBER MAT.</p> <p>3.30 ADD ONE LAIR OF 1/4" GYP. TO MAKE UP FOR THE THICKNESS. TYP. @ 1-HR TO 2-HR WALL TRANSITION.</p> <p>3.31 CMU WALL WITH PLASTER FINISH ON BOTH SIDES. SEE ELEVATION FOR CONTROL JOINTS. SEE 07A2.</p> <p>3.32 B3Q PER LANDSCAPE. SEE A614 AND LANDSCAPE DWGS FOR MORE INFO.</p> <p>3.33 INTERIOR WALL WITH PLASTER FINISH. SEE 10A1741. SEE DETAIL 11 &amp; 15A1000.</p> <p>3.34 SIM, PROVIDE PLASTER ON BOTH SIDES.</p> <p>3.35 IRRIGATION CONTROLLER SHALL BE SOIL OR WEATHER RESISTANT.</p>	<p><b>BUILDING KEYNOTES</b></p> <p>3.22c INTERCOM/PUSH BUTTON FOR ENTRANCE DOOR ON THE WALL IN THE LOBBY, PANEL SIZE AND MOUNT HEIGHT SHALL NOT PROTRUDE ACCESSIBLE ROUTE PER CBC 11B-07.2. SEE L.V. DRAWINGS. PROVIDE POWER.</p> <p>3.22d INTERCOM/PUSH BUTTON FOR ROLL-UP GATE. SEE LOW VOLTAGE DRAWING. PROVIDE POWER.</p> <p>3.23 BOX OUT FOR DRAIN LINE. SEE DETAIL 19A1712.</p> <p>3.24 EXTERIOR CORRIDOR SMOKE VENT. SEE DETAIL 13A1005.</p> <p>3.25 ACTUATOR FOR ENTRANCE DOOR OPENER, WITH INTERNATIONAL SYMBOL OF ACCESSIBILITY.</p> <p>3.26 ROLLER SHADES AT ALL OFFICE/COMMON AREA WINDOWS. TYP.</p> <p>3.27 RENT DROP BOX, MAX 48" TO OPENING SLOT. SEE DETAIL 20A1000.</p> <p>3.28 SEE RADON GAS MITIGATION SYSTEM DRAWINGS FOR HABITABLE SPACES, STAIRS, ELEC. RM, TRASH RM AND STORAGE SPACES.</p> <p>3.29 FOUR IN-PLACE RUBBER MAT PER LANDSCAPE DWG. DUAL STAGE DRAINS SHALL BE ON TOPPING SLAB BELOW RUBBER MAT. NO INLETS ON RUBBER MAT.</p> <p>3.30 ADD ONE LAIR OF 1/4" GYP. TO MAKE UP FOR THE THICKNESS. TYP. @ 1-HR TO 2-HR WALL TRANSITION.</p> <p>3.31 CMU WALL WITH PLASTER FINISH ON BOTH SIDES. SEE ELEVATION FOR CONTROL JOINTS. SEE 07A2.</p> <p>3.32 B3Q PER LANDSCAPE. SEE A614 AND LANDSCAPE DWGS FOR MORE INFO.</p> <p>3.33 INTERIOR WALL WITH PLASTER FINISH. SEE 10A1741. SEE DETAIL 11 &amp; 15A1000.</p> <p>3.34 SIM, PROVIDE PLASTER ON BOTH SIDES.</p> <p>3.35 IRRIGATION CONTROLLER SHALL BE SOIL OR WEATHER RESISTANT.</p>	<p><b>FLOOR PLAN GENERAL NOTES</b></p> <p>1. PROVIDE ILLUMINATED EXIT SIGNS IN ALL INTERIOR EXIT CORRIDORS IN GROUP A &amp; R-2 OCCUPANCIES PER CBC SECTION 9011.</p> <p>2. PROVIDE ONE FIRE EXTINGUISHER WITH A MINIMUM RATING OF 2A:10BC WITH A MAXIMUM TRAVEL DISTANCE OF 75' TO ALL OCCUPIED PORTIONS OF BUILDING. SEE DETAIL 2 &amp; 3A1000.</p> <p>3. ALL EXTERIOR WALLS OF TYPE IIA CONSTRUCTION TO BE FRAMED WITH FIRE RETARDANT WOOD INCLUDING STUDS, BLOCKS, PLATE BACKING, SHEAR PANELS &amp; FIRST LAYER OF FLOOR SHEATHING ADJACENT TO EXTERIOR WALL. ALL LUMBER PENETRATING EXTERIOR WALLS TO BE FIRE RETARDANT WOOD. SEE DETAILS 2, 9, 13, 14A1720.</p> <p>4. FOR ACCESSIBLE ENTRY DETAILS. SEE DETAIL 1A1901.</p> <p>5. FOR FINISHING AND PENETRATION DETAILS. SEE SHEET A773, A774, A780 &amp; A781.</p> <p>6. ALL OPENINGS IN FIRE WALLS SHALL BE PROTECTED WITH SELF-CLOSING FIRE ASSEMBLIES HAVING A FIRE RESISTANCE RATING OF 3 HOURS.</p> <p>7. DUCTS AND AIR TRANSFER OPENINGS THROUGH FIRE WALLS SHOULD BE AVOIDED. IF ALLOWED, DUCT AND AIR TRANSFER OPENING PENETRATIONS SHALL BE PROTECTED AS REQUIRED BY SECTIONS 714 AND 717. DAMPERS WITH A 3 HOUR RATING ARE REQUIRED.</p> <p>8. FOR ACCESSIBLE CLEARANCES AND SIGNAGE REFER TO DETAILS ON SHEETS A801 AND A803.</p> <p>9. TWO-WAY RADIO COMMUNICATION SYSTEM TO BE PROVIDED PER LAFD 510. SEE DETAIL 11 &amp; 15A1000.</p> <p>10. AT LOCATIONS WHERE THIS WALL ASSEMBLY NO LONGER REQUIRES A SHEAR PANEL ON STRUCTURAL PLANS, MAINTAIN ASSEMBLY THICKNESS &amp; ACOUSTIC VALUE BY CONTINUOUS WOOD SHEATHING OR A BASE LAYER OF GYPSUM BOARD CAN REPLACE A LAYER OF WOOD SHEATHING OF SIMILAR THICKNESS.</p> <p>11. FOR FIRE PROOFING STEEL COLUMNS SEE DETAILS ON SHEET A721 AND A725.</p>	<p><b>WALKING SURFACE LEGEND</b></p> <p>CONCRETE TOPPING ON STRUCTURAL CONCRETE SLAB SEE A742 FOR DETAILS</p> <p>CONCRETE TOPPING ON WOOD FRAMING SEE A740 FOR DETAILS</p> <p>DECK COATING ON CONCRETE SEE A741 FOR DETAILS</p> <p>BATHROOM FLOOR DEPRESSION W/ CHEMISTRIK FILLER. FINISH SCHEDULE FOR FLOORING</p> <p>NOTE: SLOPE DECK 1/8" MAX. NO WALKING SURFACE CAN EXCEED 1/8".</p> <p>BUILT-UP OR RAISED CONCRETE SLAB OVER STRUCTURE. REFER TO STRUCTURAL DRAWINGS</p> <p>HOSE BIB. SEE PLUMBING/DEM DRAWINGS (WHERE APPLICABLE)</p>	<p><b>ROOM SYMBOL LEGEND</b></p> <p>RESIDENTIAL UNIT IDENTIFICATION SYMBOL.</p> <p>UNIT - UNIT TYPE UNIT NUMBER ENLARGED PLAN REFERENCE</p> <p>MOBILITY COMMUNICATION UNITS</p> <p>ROOM IDENTIFICATION SYMBOL.</p> <p>ROOM - ROOM NAME ENLARGED PLAN REFERENCE</p>	<p><b>WALL TYPE LEGEND</b></p> <p>2-HOUR FIRE BARRIER</p> <p>1-HOUR FIRE WALL</p> <p>3-HOUR FIRE WALL</p> <p>CONCRETE WALL</p> <p>CMU WALL</p> <p>WOOD STUD PARTITION (1-HOUR OR NON-RATED AS INDICATED ON PLANS)</p> <p>STEEL STUD PARTITION (1-HOUR OR NON-RATED AS INDICATED ON PLANS)</p> <p>WALL MATERIAL: W = WOOD STUD - SEE A710 S = STEEL STUD - SEE A711 M = CMU - SEE 12A1712 C = CONCRETE - SEE 12A1712 FW = FIRE WALL - SEE A716</p> <p>DETAIL NUMBER ON REFERENCED SHEET</p>
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AutoCAD Drawn: 12/10/2023 2:10:06; Overall Plotter: 20/11/24; Overall Plotter: 1/14/24; R14.rvt



**ACVARTIN**  
 7408 WILSHIRE BOULEVARD SUITE 2808  
 LOS ANGELES CA 90017 T 313 483 1100

**REVISED**  
 11:20 am, Feb 17, 2026

**EXHIBIT "A"**  
 Page No. 36 of 57  
 Case No. ADM-2023-6353-DB-SPP-HCA-ED1

project number 2307027  
 project director  
 project designer  
 project architect

no.	date	revision
09/06/25		DESIGN DEVELOPMENT
10/20/25		PLAN CHECK SUBMITTAL #1
12/10/25		PLAN CHECK SUBMITTAL #2

project status  
**PLAN CHECK SUBMITTAL #2**  
 12/10/25



client/project

**21320 OXNARD ST. WARNER CENTER - PHASE 2**

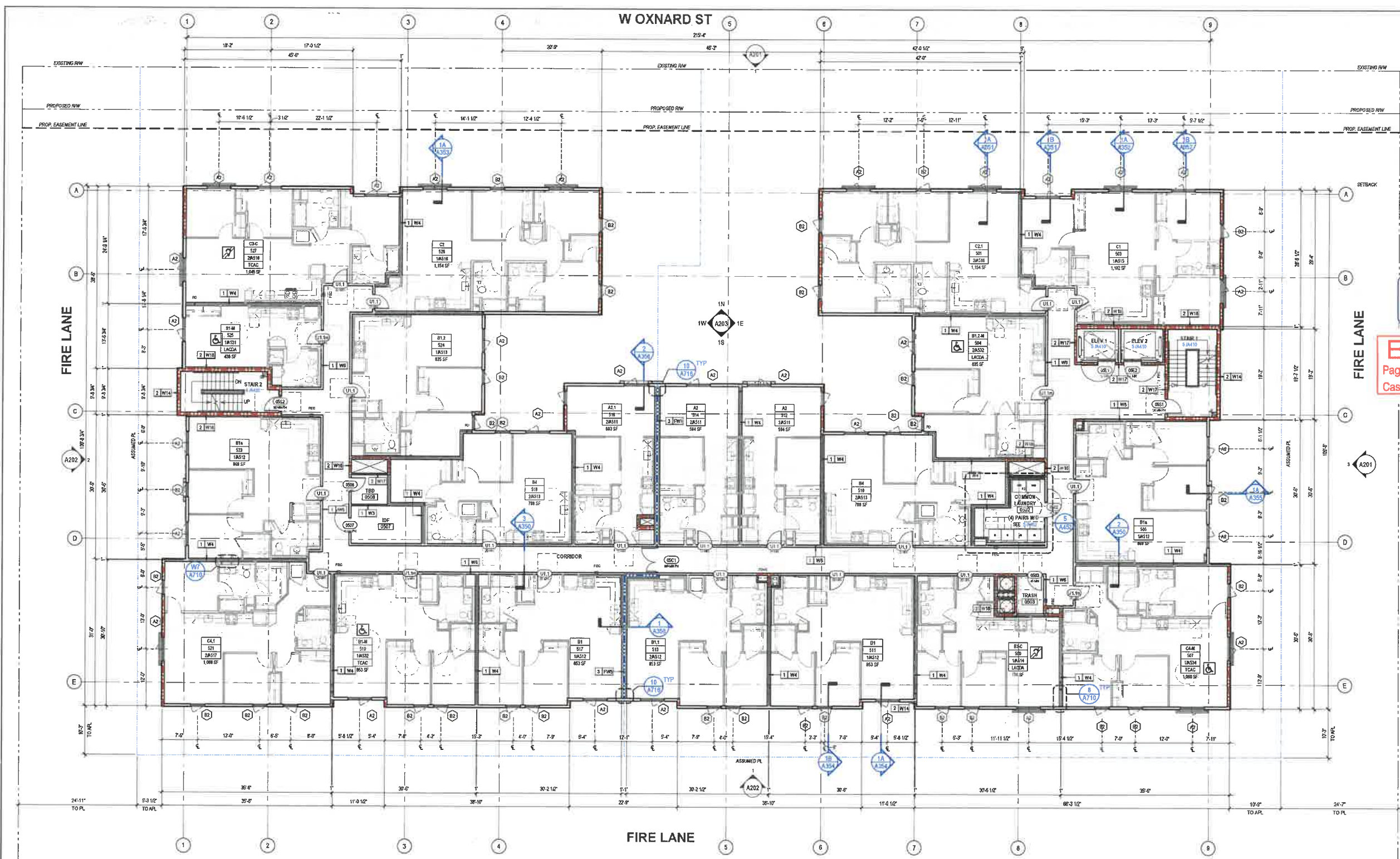
META DEVELOPMENT, LLC  
 11150 W OLYMPIC BLVD,  
 SUITE 620,  
 LOS ANGELES, CA 90064

sheet name

**LEVEL 5 - OVERALL FLOOR PLAN**

**A105**

sheet number  
 12/10/2025 4:34:12 PM



**LEVEL 5 - OVERALL FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"

**BUILDING KEYNOTES**

- ENCLOSURES UNDER STAIRWAY NEED TO BE 2 HR RATED WITH 90 MIN DOORS.
- 2-HOUR CEILING ASSEMBLY.
- 14-HOUR INTERIOR CORRIDOR - 5'-0" CEILING HEIGHT MINIMUM WITH CARPET FINISH AT FLOOR. ALL UNIT ENTRY DOORS TO BE 20 MIN. RATED UNLESS NOTED OTHERWISE. SEE DETAIL 19A713.
- 14-HOUR EXTERIOR CORRIDOR WITH UNIT ENTRY DOORS 20-MINUTE RATED. 5'-0" CEILING HEIGHT MINIMUM WITH CONCRETE TOPPING AT FLOOR & STUCCO FINISH AT WALLS & CEILING. SEE DETAIL 2A714.
- 14-HOUR SHAFT. SEE DETAIL 5A730.
- 24-HOUR SHAFT. SEE MECHANICAL FOR ADDITIONAL INFORMATION. SEE DETAIL 5A730 & 12A751.
- 24-HOUR TRASH CHUTE SHAFT. SEE DETAIL 9A730.
- FIRE EXTINGUISHER CABINET. SEE DETAIL 14A600. PROVIDE CABINET WITHIN 75' OF END OF CORRIDORS & A MAXIMUM 150' O.C. VERIFY LOCATION WITH FIRE DEPARTMENT BEFORE INSTALLATION.
- 14-HOUR EXTERIOR NON-BEARING WALLS FRAMED WITH APPROVED FIRE RETARDANT LUMBER AT TYPE IIA CONSTRUCTION. SEE DETAIL 2A710.
- 24-HOUR EXTERIOR BEARING WALLS FRAMED WITH APPROVED FIRE RETARDANT TREATED LUMBER AT TYPE IIA CONSTRUCTION. SEE DETAIL 14A710.
- 3-HOUR FIRE WALL WITH 3-HOUR PROTECTED OPENINGS. SEE SHEET A716.
- HORIZONTAL EXT. 2-HOUR FIRE WALL WITH 2-HOUR PROTECTED OPENING PER DETAIL 17A800.
- 42" HIGH GUARDRAIL A.F.F.
- FLOOR TRANSITION. SEE DETAIL 17A800.
- EXTERIOR STUCCO CORRIDOR TRANSITION TO INTERIOR DRYWALL CORRIDOR. SEE DETAIL 7A800.
- 78" X 90" RECESSED WALK-OFF MAT FOR ELEVATOR SHAFT WALL ALIGNMENT. SEE DETAIL 14A730.
- SEISMIC JOINT. SEE SHEET A735.
- TWO-WAY COMMUNICATION SYSTEM AT ELEVATOR LANDING. SEE DETAILS 11 & 15A903.
- FLOOR DRAIN. SEE DETAIL 4A740 FOR WOOD FRAMING AND 14A414 FOR CONCRETE SLAB.
- INTERIOR METAL STUD CORRIDORS. SEE DETAILS 4A717 AND 2A725.
- H89 BEAM / COLUMN. SEE STRUCTURAL DRAWINGS.
- FIRE ALARM AMBICATOR PANEL. SIZE AND MOUNT HEIGHT SHALL NOT PROTRUDE ACCESSIBLE ROUTE PER CBC 11B-307.2.
- INTERCOMMERCIAL READER/PUSH BUTTON FOR ENTRANCE DOOR ON PEDESTAL. GC TO PROVIDE CONC. BASE FOR PEDESTAL. SEE L.V. DRAWINGS. PROVIDE POWER. PROVIDE KEY KEYPAD FOR USPS.
- INTERCOMMERCIAL READER/PUSH BUTTON FOR ENTRANCE DOOR ON THE LOBBY. PANEL SIZE AND MOUNT HEIGHT SHALL NOT PROTRUDE ACCESSIBLE ROUTE PER CBC 11B-307.2.
- INTERCOMMERCIAL READER FOR ROLL-UP GATE. SEE LOW VOLTAGE DRAWING. PROVIDE POWER.
- BOX GUT FOR DRAIN LINE. SEE DETAIL 19A712.
- EXTERIOR CORRIDOR SOFFIT VENT. SEE DETAIL 13A805.
- ACTUATOR FOR ENTRANCE DOOR OPENER, WITH INTERNATIONAL SYMBOL OF ACCESSIBILITY ROLLER SHADES AT ALL OFFICE/COMMON AREA WINDOWS. TYP.
- RENT DROP BOX, MAX 48" TO OPERATING SLOT. SEE DETAIL 20A800.
- SEE RADON GAS MITIGATION SYSTEM DRAWINGS FOR HABITABLE SPACES, STAIRS, ELEC. RM, TRASH RM AND STORAGE SPACES.
- POUR-IN-PLACE RUBBER MAT PER LANDSCAPE DWG. DUAL STAGE DRAIN SHALL BE ON TOPPING SLAB BELOW RUBBER MAT. NO INLETS ON RUBBER MAT.
- ADD ONE LAYER OF 5/8" OVP. TO MAKE UP FOR THE THICKNESS. TYP. @ 1HR TO 2HR WALL TRANSITION CMU WALL WITH PLASTER FINISH ON BOTH SIDES. SEE ELEVATION FOR CONTROL JOINTS. SEE 2742.
- RND PER LANDSCAPE. SEE A814 AND LANDSCAPE DWGS FOR MORE INFO.
- PLASTER WALL WITH PLASTER FINISH. SEE 19A741. SEE LANDSCAPE FOR THE LIGHT. SEE DETAIL FOR THE LIGHTING AT SIM. PROVIDE PLASTER ON BOTH SIDES.
- IRRIGATION CONTROLLER SHALL BE SOL. OR WEATHER

**BUILDING KEYNOTES**

- INTERCOMMERCIAL READER/PUSH BUTTON FOR ENTRANCE DOOR ON THE LOBBY. PANEL SIZE AND MOUNT HEIGHT SHALL NOT PROTRUDE ACCESSIBLE ROUTE PER CBC 11B-307.2.
- INTERCOMMERCIAL READER FOR ROLL-UP GATE. SEE LOW VOLTAGE DRAWING. PROVIDE POWER.
- BOX GUT FOR DRAIN LINE. SEE DETAIL 19A712.
- EXTERIOR CORRIDOR SOFFIT VENT. SEE DETAIL 13A805.
- ACTUATOR FOR ENTRANCE DOOR OPENER, WITH INTERNATIONAL SYMBOL OF ACCESSIBILITY ROLLER SHADES AT ALL OFFICE/COMMON AREA WINDOWS. TYP.
- RENT DROP BOX, MAX 48" TO OPERATING SLOT. SEE DETAIL 20A800.
- SEE RADON GAS MITIGATION SYSTEM DRAWINGS FOR HABITABLE SPACES, STAIRS, ELEC. RM, TRASH RM AND STORAGE SPACES.
- POUR-IN-PLACE RUBBER MAT PER LANDSCAPE DWG. DUAL STAGE DRAIN SHALL BE ON TOPPING SLAB BELOW RUBBER MAT. NO INLETS ON RUBBER MAT.
- ADD ONE LAYER OF 5/8" OVP. TO MAKE UP FOR THE THICKNESS. TYP. @ 1HR TO 2HR WALL TRANSITION CMU WALL WITH PLASTER FINISH ON BOTH SIDES. SEE ELEVATION FOR CONTROL JOINTS. SEE 2742.
- RND PER LANDSCAPE. SEE A814 AND LANDSCAPE DWGS FOR MORE INFO.
- PLASTER WALL WITH PLASTER FINISH. SEE 19A741. SEE LANDSCAPE FOR THE LIGHT. SEE DETAIL FOR THE LIGHTING AT SIM. PROVIDE PLASTER ON BOTH SIDES.
- IRRIGATION CONTROLLER SHALL BE SOL. OR WEATHER

**BUILDING KEYNOTES**

- INTERCOMMERCIAL READER/PUSH BUTTON FOR ENTRANCE DOOR ON THE LOBBY. PANEL SIZE AND MOUNT HEIGHT SHALL NOT PROTRUDE ACCESSIBLE ROUTE PER CBC 11B-307.2.
- INTERCOMMERCIAL READER FOR ROLL-UP GATE. SEE LOW VOLTAGE DRAWING. PROVIDE POWER.
- BOX GUT FOR DRAIN LINE. SEE DETAIL 19A712.
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- RENT DROP BOX, MAX 48" TO OPERATING SLOT. SEE DETAIL 20A800.
- SEE RADON GAS MITIGATION SYSTEM DRAWINGS FOR HABITABLE SPACES, STAIRS, ELEC. RM, TRASH RM AND STORAGE SPACES.
- POUR-IN-PLACE RUBBER MAT PER LANDSCAPE DWG. DUAL STAGE DRAIN SHALL BE ON TOPPING SLAB BELOW RUBBER MAT. NO INLETS ON RUBBER MAT.
- ADD ONE LAYER OF 5/8" OVP. TO MAKE UP FOR THE THICKNESS. TYP. @ 1HR TO 2HR WALL TRANSITION CMU WALL WITH PLASTER FINISH ON BOTH SIDES. SEE ELEVATION FOR CONTROL JOINTS. SEE 2742.
- RND PER LANDSCAPE. SEE A814 AND LANDSCAPE DWGS FOR MORE INFO.
- PLASTER WALL WITH PLASTER FINISH. SEE 19A741. SEE LANDSCAPE FOR THE LIGHT. SEE DETAIL FOR THE LIGHTING AT SIM. PROVIDE PLASTER ON BOTH SIDES.
- IRRIGATION CONTROLLER SHALL BE SOL. OR WEATHER

**FLOOR PLAN GENERAL NOTES**

- PROVIDE ILLUMINATED EXIT SIGNS IN ALL INTERIOR EXIT CORRIDORS IN GROUP A & R-2 OCCUPANCIES PER CBC SECTION 1011.
- PROVIDE ONE FIRE EXTINGUISHER WITH A MINIMUM RATING OF 2A 10BC WITH A MAXIMUM TRAVEL DISTANCE OF 75' TO ALL OCCUPIED PORTIONS OF BUILDING. SEE DETAIL 2 & 3A900.
- ALL EXTERIOR WALLS OF TYPE IIA CONSTRUCTION TO BE FRAMED WITH FIRE RETARDANT WOOD INCLUDING STUDS, BLOCKS, PLATE BACKING, SHEAR PANELS & FIRST LAYER OF FLOOR SHEATHING ADJACENT TO EXTERIOR WALL. ALL LUMBER PENETRATING EXTERIOR WALLS TO BE FIRE RETARDANT WOOD. SEE DETAILS 2, 4, 13, 14A720.
- FOR ACCESSIBLE/ENTRY DETAILS. SEE DETAIL 1A901.
- FOR FLASHING AND PENETRATION DETAILS. SEE SHEET A773, A774, A780 & A781.
- ALL OPENINGS IN FIRE WALLS SHALL BE PROTECTED WITH SELF-CLOSING FIRE ASSEMBLIES HAVING A FIRE RESISTANCE RATING OF 3 HOURS.
- DUCTS AND AIR TRANSFER OPENINGS THROUGH FIRE WALLS SHOULD BE PROTECTED AS REQUIRED BY SECTIONS 714 AND 717. DAMPERS WITH A 3 HOUR RATING ARE REQUIRED.
- FOR ACCESSIBLE CLEARANCES AND SIGNAGE REFER TO DETAILS ON SHEETS A801 A803.
- TWO-WAY RADIO COMMUNICATION SYSTEM TO BE PROVIDED PER LAFD 510. SEE DETAIL 11 & 15A903.
- AT LOCATIONS WHERE THIS WALL ASSEMBLY NO LONGER REQUIRES A SHEAR PANEL ON STRUCTURAL PLANE, MAINTAIN ASSEMBLY THICKNESS & ACoustic VALUE BY CONTIGUOUS WOOD SHEATHING OR A BASE LAYER OF GYPSUM BOARD CAN REPLACE FOR MORE INFO.
- FOR FIRE PROOFING STEEL COLUMNS SEE DETAILS ON SHEET A721 AND A725.

**WALKING SURFACE LEGEND**

	CONCRETE TOPPING ON STRUCTURAL CONCRETE SLAB	SEE A742 FOR DETAILS
	CONCRETE TOPPING ON WOOD FRAMING	SEE A740 FOR DETAILS
	DECK COATING ON CONCRETE	SEE A741 FOR DETAILS
	BATHROOM FLOOR DEPRESSION W/ CEMENTITIOUS FILLER. SEE FINISH SCHEDULE FOR FLOORING	
	NOTE: SLOPE DECK 1.5% MAX. AND WALKING SURFACE CAN EXCEED 1.5%.	
	HOSE BIB. SEE PLUMBING DRAWINGS (WHERE APPLICABLE)	

**ROOM SYMBOL LEGEND**

RESIDENTIAL UNIT IDENTIFICATION SYMBOL

	UNIT TYPE
	UNIT NUMBER
	ENLARGED PLAN REFERENCE
	MOBILITY/COMMUNICATION UNITS
	ROOM IDENTIFICATION SYMBOL
	ROOM NAME
	ENLARGED PLAN REFERENCE

**WALL TYPE LEGEND**

	2-HOUR FIRE BARRIER
	3-HOUR FIRE WALL
	CONCRETE WALL
	CMU WALL
	WOOD STUD PARTITION (1-HOUR OR NON-RATED AS INDICATED ON PLANS)
	STEEL STUD PARTITION (1-HOUR OR NON-RATED AS INDICATED ON PLANS)

**FIRE RATING**

0 = MIN RATED  
 1 = ONE-HOUR RATED  
 2 = TWO-HOUR RATED  
 3 = THREE-HOUR RATED  
 4 = FOUR-HOUR RATED

**WALL MATERIAL**

W = WOOD STUD - SEE A710  
 S = STEEL STUD - SEE A717  
 M = CMU - SEE 12A712  
 C = CONCRETE - SEE 12A712  
 FW = FIRE WALL - SEE A716

DETAIL NUMBER ON REFERENCED SHEET



**AC MARTIN**  
 1400 WILSHIRE BOULEVARD, SUITE 2000  
 LOS ANGELES, CA 90017 | 213.683.1100

**REVISED**  
 11:20 am, Feb 17, 2026

**EXHIBIT "A"**  
 Page No. 37 of 57  
 Case No. ADM-2023-0353-DB-SPP-HCA-ED1

project number: 2307027  
 project director:  
 project designer:  
 project architect:

no.	date	revision
09/08/25		DESIGN DEVELOPMENT
10/09/25		PLAN CHECK SUBMITTAL #1
12/10/25		PLAN CHECK SUBMITTAL #2

PLAN CHECK SUBMITTAL #2  
 12/10/25



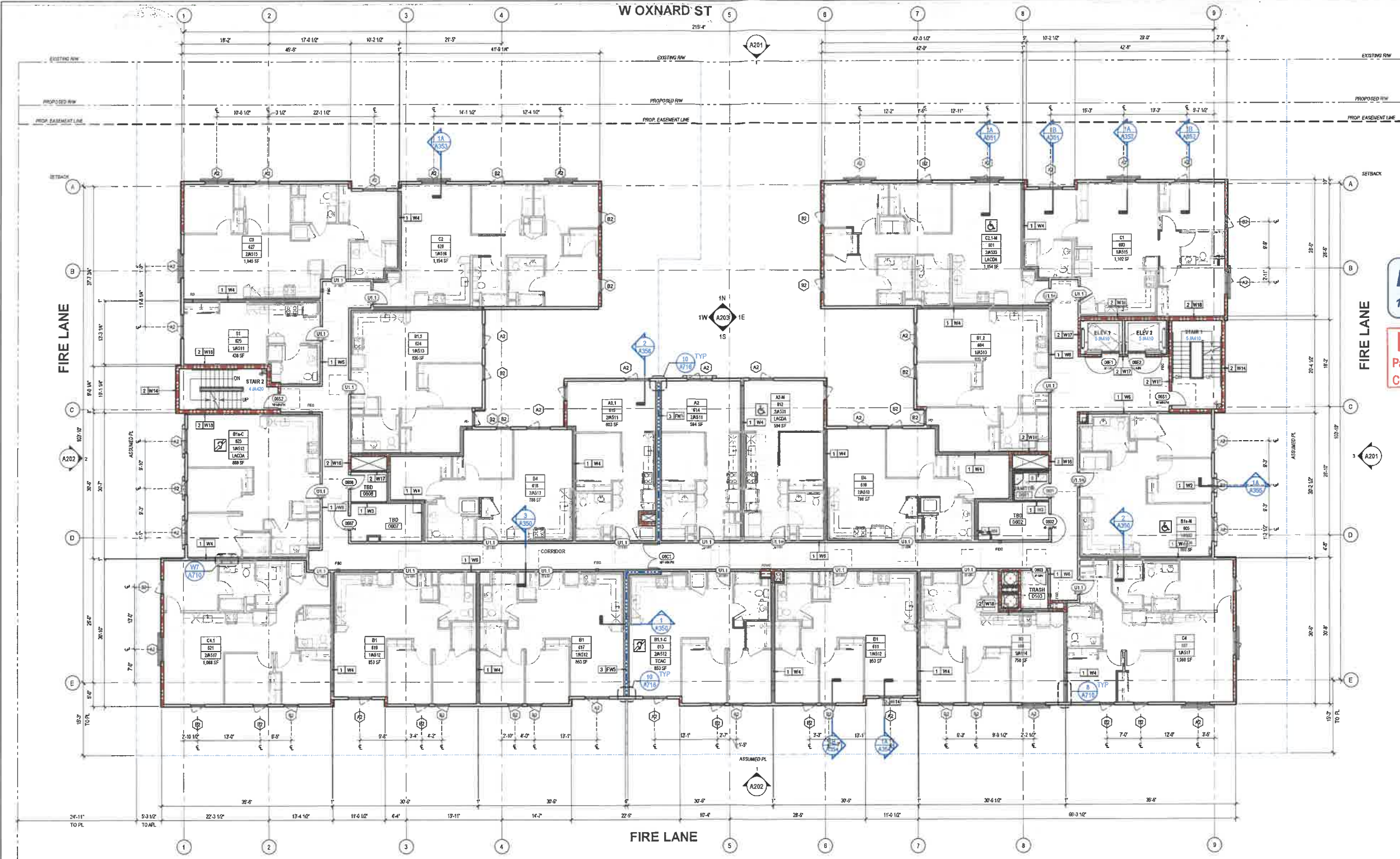
client / project

**21320 OXNARD ST. WARNER CENTER - PHASE 2**  
 META DEVELOPMENT, LLC  
 11150 W OLYMPIC BLVD,  
 SUITE 620,  
 LOS ANGELES, CA 90064

**LEVEL 6 - OVERALL FLOOR PLAN**

**A106**

plot date: 12/10/2025 4:34:59 PM



**LEVEL 6 - OVERALL FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"

<p><b>BUILDING KEYNOTES</b></p> <p>2.11 ENCLOSURES UNDER STAIRWAY NEEDED TO BE 2 HR RATED WITH 90 MIN DOORS.</p> <p>2.12 2-HOUR CEILING ASSEMBLY - 8" F" CEILING HEIGHT MINIMUM WITH CARPET FINISH AT FLOOR. ALL UNIT ENTRY DOORS TO BE 20 MIN. RATED UNLESS NOTED OTHERWISE. SEE DETAIL 12A713.</p> <p>3.2 1-4-HOUR EXTERIOR CORRIDOR WALL UNIT ENTRY DOORS 20-MINUTE RATED, 8" F" CEILING HEIGHT MINIMUM WITH CONCRETE TOPPING AT FLOOR &amp; STUCCO FINISH AT WALLS &amp; CEILING. SEE DETAIL 2A714.</p> <p>3.3 1-4-HOUR SHAFT. SEE DETAIL 9A730.</p> <p>3.4 2-HOUR SHAFT. SEE MECHANICAL FOR ADDITIONAL INFORMATION. SEE DETAIL 6A790 &amp; 12A751.</p> <p>3.5 2-HOUR TRASH CHUTE SHAFT. SEE DETAIL 3A720.</p> <p>3.6 FIRE EXTINGUISHER CABINET SEE DETAIL 3A800. PROVIDE CABINET WITHIN 7' OF END OF CORRIDORS &amp; A MAXIMUM 150' O.C. VERIFY LOCATION WITH FIRE DEPARTMENT BEFORE INSTALLATION.</p> <p>3.7 1-4-HOUR EXTERIOR NON-BEARING WALLS FRAMED WITH APPROVED FIRE RETARDANT LUMBER AT TYPE IIIA CONSTRUCTION. SEE DETAIL 2A710.</p> <p>3.8 2-HOUR EXTERIOR BEARING WALLS FRAMED WITH APPROVED FIRE RETARDANT TREATED LUMBER AT TYPE IIIA CONSTRUCTION. SEE DETAIL 1A741.</p> <p>3.9 3-HOUR FIRE WALL WITH 3-HOUR PROTECTED OPENINGS. SEE SHEET A71E.</p>	<p><b>BUILDING KEYNOTES</b></p> <p>3.10 HORIZONTAL EXT. 2-HOUR FIRE WALL WITH 2-HOUR PROTECTED OPENING PER DETAIL. PROVIDE STANDPIPE LOCATED WITHIN 150' OF EACH SIDE OF THE HORIZONTAL EXIT DOOR OPENINGS.</p> <p>3.11 47" HIGH GUARDRAIL, A.F.F.</p> <p>3.12 FLOOR TRANSITION. SEE DETAIL 17A800.</p> <p>3.13 EXTERIOR STUCCO CORRIDOR TRANSITION TO INTERIOR DRYWALL CORRIDOR. SEE DETAIL 7A800.</p> <p>3.14 7/8" X 1/2" RECESSED WALK-OFF MAT FOR ELEVATOR SHAFT WALL ALLOWANCE. SEE DETAIL 1-4A730.</p> <p>3.16 SEISMIC JOINT. SEE SHEET A735.</p> <p>3.17 TWO-WAY COMMUNICATION SYSTEM AT ELEVATOR LANDING. SEE DETAILS 11 &amp; 15A300.</p> <p>3.18 FLOOR DRAIN. SEE DETAIL 4A740 FOR WOOD FRAMING AND 4.1A4741 FOR CONCRETE SLAB.</p> <p>3.19 INTERIOR METAL STUD CORRIDORS. SEE DETAILS 4A717 AND 2A725.</p> <p>3.20 HSB BEAM / COLUMN. SEE STRUCTURAL DRAWINGS.</p> <p>3.21 FIRE ALARM ANNUNCIATOR, PANEL SIZE AND MOUNT HEIGHT SHALL NOT PROTRUDE ACCESSIBLE RUOTE PER CBC 11B-301.2.</p> <p>3.22a INTERCOM CARD READER/PUSH BUTTON FOR ENTRANCE DOOR ON THE WALL IN THE LOBBY, PANEL SIZE AND MOUNT HEIGHT SHALL NOT PROTRUDE ACCESSIBLE RUOTE PER CBC 11B-301.2. SEE L.V. DRAWINGS. PROVIDE POWER.</p> <p>3.22b INTERCOM CARD READER FOR ROLL-UP GATE. SEE LOW VOLTAGE DRAWING. PROVIDE POWER.</p> <p>3.23 BOX OUT FOR DRAIN LINE. SEE DETAIL 19A712.</p> <p>3.24 EXTERIOR CORRIDOR SOFFIT VENT. SEE DETAIL 13A805.</p> <p>3.25 ACTUATOR FOR ENTRANCE DOOR OPENER, WITH INTERNATIONAL SYMBOL OF ACCESSIBILITY.</p> <p>3.26 ROLLER SHADES AT ALL OFFICE/COMMON AREA WINDOWS. TYP.</p> <p>3.27 RENT DROP BOX, MAX 48" TO OPENING SLOT. SEE DETAIL 20A800.</p> <p>3.28 SEE RADON GAS MITIGATION SYSTEM DRAWINGS FOR HABITABLE SPACES, STAIRS, ELEC. RM, TRASH RM AND STORAGE SPACES.</p> <p>3.29 POUR-IN-PLACE RUBBER MAT PER LANDSCAPE DWG. DUAL STAGE DRAINS SHALL BE ON TOPPING SLAB BELOW RUBBER MAT. NO INLETS ON RUBBER MAT.</p> <p>3.30 ADD ONE LAYER OF 5/8" GYP. TO MAKE UP FOR THE THICKNESS. TYP. @ 1-1/2" TO 2-HR WALL TRANSITION.</p> <p>3.31 CMU WALL WITH PLASTER FINISH ON BOTH SIDES. SEE ELEVATION FOR CONTROL JOINTS. SEE 9742.</p> <p>3.32 BBO PER LANDSCAPE. SEE A814 AND LANDSCAPE DWGS FOR MORE INFO.</p> <p>3.33 PLASTER WALL WITH PLASTER FINISH. SEE 18A740. SEE 18A740 FOR FINISH. SEE ELEC FOR SHEATHING AT SIM. PROVIDE PLASTER ON BOTH SIDES.</p> <p>3.34 IRRIGATION CONTROLLER SHALL BE SOIL OR WEATHER RESISTANT. SEE LANDSCAPE DWG.</p>	<p><b>FLOOR PLAN GENERAL NOTES</b></p> <p>1. PROVIDE ILLUMINATED EXIT SIGNS IN ALL INTERIOR EXIT CORRIDORS IN GROUP A &amp; R-2 OCCUPANCIES PER CBC SECTION 701.11.</p> <p>2. PROVIDE ONE FIRE EXTINGUISHER WITH A MINIMUM RATING OF 2A:10B WITH A MAXIMUM TRAVEL DISTANCE OF 75' TO ALL OCCUPIED PORTIONS OF BUILDING. SEE DETAIL 2.1 &amp; 3A900.</p> <p>3. ALL EXTERIOR WALLS OF TYPE IIIA CONSTRUCTION TO BE FRAMED WITH FIRE RETARDANT WOOD INCLUDING STUDS, BLOCKS, PLATE BACKING, SHEAR PANELS &amp; FIRST LAYER OF FLOOR SHEATHING ADJACENT TO EXTERIOR WALL. ALL LUMBER PENETRATING EXTERIOR WALLS TO BE FIRE RETARDANT WOOD. SEE DETAILS 2, 9, 13, 14A &amp; 700.</p> <p>4. FOR ACCESSIBLE/ENTRY DETAILS. SEE DETAIL 1A801.</p> <p>5. FOR FLASHING AND PENETRATION DETAILS. SEE SHEET A773, A774, A780 &amp; A781.</p> <p>6. ALL OPENINGS IN FIRE WALLS SHALL BE PROTECTED WITH SELF-CLOSING FIRE ASSEMBLIES HAVING A FIRE RESISTANCE RATING OF 3 HOURS.</p> <p>7. DUCTS AND AIR TRANSFER OPENINGS THROUGH FIRE WALLS SHOULD BE AVOIDED IF ALLOWED, DUCT AND AIR TRANSFER OPENING PENETRATIONS SHALL BE PROTECTED AS REQUIRED BY SECTIONS 714 AND 717. DAMPERS WITH A 3 HOUR RATING ARE REQUIRED.</p> <p>8. FOR ACCESSIBLE CLEARANCES AND SIGNAGE REFER TO DETAILS ON SHEETS A801 A803.</p> <p>9. TWO-WAY RADIO COMMUNICATION SYSTEM TO BE PROVIDED PER LAF 510. SEE DETAIL 11 &amp; 15A300.</p> <p>10. AT LOCATIONS WHERE THIS WALL ASSEMBLY NO LONGER REQUIRES A SHEAR PANEL ON STRUCTURAL PLANS, MAINTAIN ASSEMBLY THICKNESS &amp; ACCUSTIC VALUE BY CONTINUOUS WOOD SHEATHING OR A BASE LAYER OF GYPSUM BOARD CAN REPLACE A LAYER OF WOOD SHEATHING OF SIMILAR THICKNESS.</p> <p>11. FOR FIRE PROOFING STEEL COLUMNS SEE DETAILS ON SHEET A721 AND A725.</p>	<p><b>WALKING SURFACE LEGEND</b></p> <p>CONCRETE TOPPING ON STRUCTURAL CONCRETE SLAB SEE A742 FOR DETAILS</p> <p>CONCRETE TOPPING ON WOOD FRAMING SEE A740 FOR DETAILS</p> <p>DECK COATING ON CONCRETE SEE A741 FOR DETAILS</p> <p>BATHROOM FLOOR DEPRESSION W/ CEMENTITIOUS FILLER. SEE FINISH SCHEDULE FOR FLOORING</p> <p>NOTE: SLOPE DECK 1.5% MAX. NO WALKING SURFACE CAN EXCEED 1.5%.</p> <p>BUILT-UP OR RAISED CONCRETE SLAB OVER STRUCTURAL FOAM. REFER TO STRUCTURAL DRAWINGS</p> <p>HOSE BIB. SEE PLUMBING/DEM DRAWINGS (WHERE APPLICABLE)</p>	<p><b>ROOM SYMBOL LEGEND</b></p> <p>RESIDENTIAL UNIT IDENTIFICATION SYMBOL</p> <p>UNIT # - UNIT TYPE    UNIT # - UNIT NUMBER    ENLARGED PLAN REFERENCE</p> <p>MOBILITY/COMMUNICATION UNITS</p> <p>ROOM IDENTIFICATION SYMBOL</p> <p>ROOM - ROOM NAME    ENLARGED PLAN REFERENCE</p>	<p><b>WALL TYPE LEGEND</b></p> <p>2-HOUR FIRE BARRIER</p> <p>3-HOUR FIRE WALL</p> <p>CONCRETE WALL</p> <p>CMU WALL</p> <p>WOOD STUD PARTITION (1-HOUR OR NON-RATED AS INDICATED ON PLANS)</p> <p>STEEL STUD PARTITION (1-HOUR OR NON-RATED AS INDICATED ON PLANS)</p> <p>WALL MATERIAL:    W = WOOD STUD - SEE A710    S = STEEL STUD - SEE A712    M = CMU - SEE 12A712    C = CONCRETE - SEE 12A712    PW = FIRE WALL - SEE A746</p> <p>DETAIL NUMBER ON REFERENCED SHEET</p>
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Architecture Date: 12/10/2025 7:10:00 Client: Phase 2/MEP/Architect/Phase 2/ARCH/23/24/25



**AcMARTIN**  
 100 WILSHIRE BOULEVARD SUITE 2808  
 LOS ANGELES CA 90017 213 484 1100

**REVISED**  
 11:21 am, Feb 17, 2026

**EXHIBIT "A"**  
 Page No. 38 of 57  
 Case No. ADM-2023-6353-DB-SPP-HCA-ED1

no.	date	revision
08/02/25		DESIGN DEVELOPMENT
10/02/25		PLAN CHECK SUBMITTAL #1
12/10/25		PLAN CHECK SUBMITTAL #2

project name	
PLAN CHECK SUBMITTAL #2	12/10/25
project location	
W OXNARD ST	

**PLAN CHECK SUBMITTAL #2**  
 12/10/25

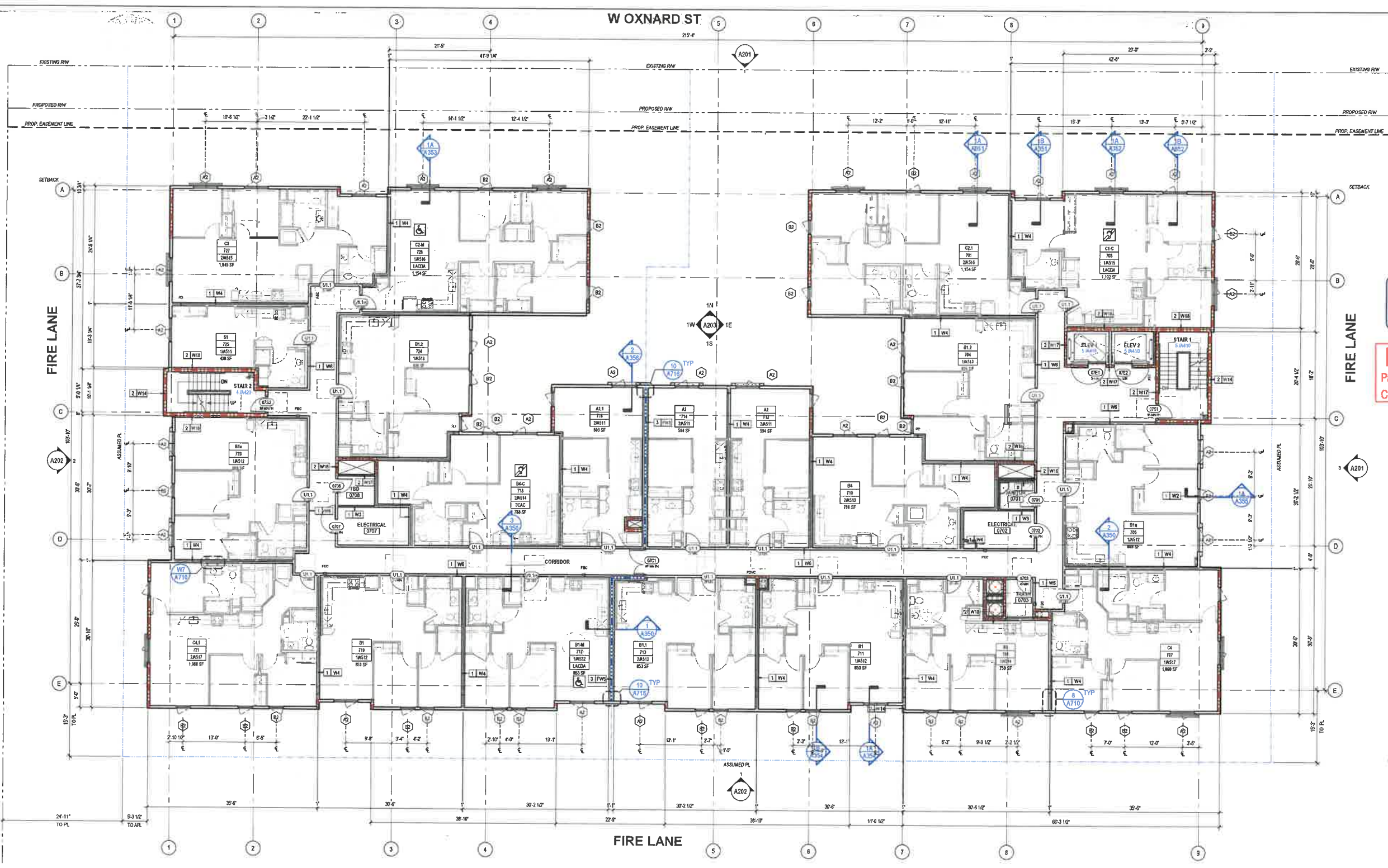


**21320 OXNARD ST. WARNER CENTER - PHASE 2**  
 META DEVELOPMENT, LLC  
 11615 W OLYMPIC BLVD,  
 SUITE 620,  
 LOS ANGELES, CA 90064

**LEVEL 7 - OVERALL FLOOR PLAN**

**A107**

sheet number  
 sheet date 12/10/25 4:35:37 PM



**LEVEL 7 - OVERALL FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"

- BUILDING KEYNOTES**
- 2.11 ENCLOSURES UNDER STAIRWAYS NEED TO BE 2-HR RATED WITH 60 MIN DOORS.
  - 2.12 2-HOUR CEILING ASSEMBLY.
  - 3.1 1-HOUR INTERIOR CORRIDOR - 9'-6" CEILING HEIGHT MINIMUM WITH CARPET FINISH AT FLOOR. ALL UNIT ENTRY DOORS TO BE 20 MIN. RATED UNLESS NOTED OTHERWISE. SEE DETAIL 10A713.
  - 3.2 1-HOUR EXTERIOR CORRIDOR W/ ALL UNIT ENTRY DOORS 20 MINUTE RATED. 9'-6" CEILING HEIGHT MINIMUM WITH CONCRETE TOPPING AT FLOOR & STUCCO FINISH AT WALLS & CEILING. SEE DETAIL 2A714.
  - 3.3 1-HOUR SHAFIT. SEE DETAIL 2A730.
  - 3.4 2-HOUR SHAFIT. SEE MECHANICAL FOR ADDITIONAL INFORMATION. SEE DETAIL 6A730 & 12A731.
  - 3.5 2-HOUR TRASH CHUTE SHAFIT. SEE DETAIL 9A730.
  - 3.6 FIRE EXTINGUISHER CABINET SEE DETAIL 3A800. PROVIDE CABINET WITHIN 75' OF END OF CORRIDORS & A MAXIMUM 150' O.C. VERIFY LOCATION WITH FIRE DEPARTMENT BEFORE INSTALLATION.
  - 3.7 1-HOUR EXTERIOR NON-BEARING WALLS FRAMED WITH APPROVED FIRE RETARDANT LUMBER AT TYPE IIIA CONSTRUCTION. SEE DETAIL 2A710.
  - 3.8 2-HOUR EXTERIOR BEARING WALLS FRAMED WITH APPROVED FIRE RETARDANT TREATED LUMBER AT TYPE IIIA CONSTRUCTION. SEE DETAIL 14A710.
  - 3.9 3-HOUR FIRE WALL WITH 3-HOUR PROTECTED OPENINGS. SEE SHEET A716.

- BUILDING KEYNOTES**
- 3.10 HORIZONTAL EXT. 2-HOUR FIRE WALL WITH 2-HOUR PROTECTED OPENING PER DETAIL. PROVIDE STANDPIPE LOCATED WITHIN 150' OF EACH SIDE OF THE HORIZONTAL EXIT DOOR OPENINGS.
  - 3.11 42" HIGH GUARDRAIL, A.F.F.
  - 3.12 FLOOR TRANSITION. SEE DETAIL 17A800.
  - 3.13 EXTERIOR STUCCO CORRIDOR TRANSITION TO INTERIOR DRYWALL CORRIDOR. SEE DETAIL 7A800.
  - 3.14 78" X 96" RECESSED WALK-OFF MAT FOR ELEVATOR SHAFIT WALL ALIGNMENT. SEE DETAIL 1-4A730.
  - 3.15 SEISMIC JOINT. SEE SHEET A735.
  - 3.16 TWO-WAY COMMUNICATION SYSTEM AT ELEVATOR LANDING. SEE DETAILS 11 & 15A900.
  - 3.17 FLOOR DRAIN. SEE DETAIL 4A740 FOR WOOD FRAMING AND 4-14A741 FOR CONCRETE SLAB.
  - 3.18 INTERIOR METAL STUD CORRIDORS. SEE DETAILS 4A717 AND 2A725.
  - 3.19 HSB BEAM & COLUMN. SEE STRUCTURAL DRAWINGS.
  - 3.20 FIRE ALARM ANNUNCIATOR, PANEL SIZE AND MOUNT HEIGHT SHALL NOT PROTRUDE ACCESSIBLE ROUTE PER CBC 115-207.2.
  - 3.21 INTERCOMPARSH BUTTON FOR ENTRANCE DOOR ON THE WALL IN THE LOBBY, PANEL SIZE AND MOUNT HEIGHT SHALL NOT PROTRUDE ACCESSIBLE ROUTE PER CBC 115-207.2.
  - 3.22 INTERCOMPARSH READER FOR ROLL-UP GATE. SEE LOW VOLTAGE DRAWING. PROVIDE POWER.
  - 3.23 BOX OUT FOR DRAINLINE. SEE DETAIL 15A712.
  - 3.24 EXTERIOR CORRIDOR SOFFIT VENT. SEE DETAIL 13A805.
  - 3.25 ACTUATOR FOR ENTRANCE DOOR OPENER, WITH INTERNATIONAL SYMBOL OF ACCESSIBILITY.
  - 3.26 ROLLER SHADES AT ALL OFFICE/COMMON AREA WINDOWS. TYP.
  - 3.27 RENT DROP BOX, MAX 48" TO OPENING SLOT. SEE DETAIL 20A800.
  - 3.28 SEE RADON GAS MITIGATION SYSTEM DRAWINGS FOR HABITABLE SPACES, STAIRS, ELEC. RM, TRASH RM AND STORAGE SPACES.
  - 3.29 POUR-IN-PLACE RUBBER MAT PER LANDSCAPE DWG. DUAL STAGE DRAINS SHALL BE ON TOPPING SLAB BELOW RUBBER MAT. NO INLETS ON RUBBER MAT.
  - 3.30 ADD ONE LAYER OF 5/8" GYP. TO MAKE UP FOR THE THICKNESS. TYP. @ 1-HR TO 2-HR WALL TRANSITION.
  - 3.31 CMU WALL WITH PLASTER FINISH ON BOTH SIDES. SEE ELEVATION FOR CONTROL JOINTS. SEE 27A2.
  - 3.32 SEE PER LANDSCAPE. SEE A814 AND LANDSCAPE DWGS FOR MORE INFO.
  - 3.33 PLANTER WALL WITH 2" PLASTER FINISH. SEE 15A741. SEE 1-3-2025 FOR THE SET. SEE E232 FOR SHIP CEMENTS AT SIM. PROVIDE PLASTER ON BOTH SIDES.
  - 3.34 IRRIGATION CONTROLLER SHALL BE SOL CR WEATHER PROTECT.

- BUILDING KEYNOTES**
- 3.22b INTERCOMPARSH BUTTON FOR ENTRANCE DOOR ON THE WALL IN THE LOBBY, PANEL SIZE AND MOUNT HEIGHT SHALL NOT PROTRUDE ACCESSIBLE ROUTE PER CBC 115-207.2. SEE L.V. DRAWINGS. PROVIDE POWER.
  - 3.22c INTERCOMPARSH READER FOR ROLL-UP GATE. SEE LOW VOLTAGE DRAWING. PROVIDE POWER.
  - 3.23 BOX OUT FOR DRAINLINE. SEE DETAIL 15A712.
  - 3.24 EXTERIOR CORRIDOR SOFFIT VENT. SEE DETAIL 13A805.
  - 3.25 ACTUATOR FOR ENTRANCE DOOR OPENER, WITH INTERNATIONAL SYMBOL OF ACCESSIBILITY.
  - 3.26 ROLLER SHADES AT ALL OFFICE/COMMON AREA WINDOWS. TYP.
  - 3.27 RENT DROP BOX, MAX 48" TO OPENING SLOT. SEE DETAIL 20A800.
  - 3.28 SEE RADON GAS MITIGATION SYSTEM DRAWINGS FOR HABITABLE SPACES, STAIRS, ELEC. RM, TRASH RM AND STORAGE SPACES.
  - 3.29 POUR-IN-PLACE RUBBER MAT PER LANDSCAPE DWG. DUAL STAGE DRAINS SHALL BE ON TOPPING SLAB BELOW RUBBER MAT. NO INLETS ON RUBBER MAT.
  - 3.30 ADD ONE LAYER OF 5/8" GYP. TO MAKE UP FOR THE THICKNESS. TYP. @ 1-HR TO 2-HR WALL TRANSITION.
  - 3.31 CMU WALL WITH PLASTER FINISH ON BOTH SIDES. SEE ELEVATION FOR CONTROL JOINTS. SEE 27A2.
  - 3.32 SEE PER LANDSCAPE. SEE A814 AND LANDSCAPE DWGS FOR MORE INFO.
  - 3.33 PLANTER WALL WITH 2" PLASTER FINISH. SEE 15A741. SEE 1-3-2025 FOR THE SET. SEE E232 FOR SHIP CEMENTS AT SIM. PROVIDE PLASTER ON BOTH SIDES.
  - 3.34 IRRIGATION CONTROLLER SHALL BE SOL CR WEATHER PROTECT.

- FLOOR PLAN GENERAL NOTES**
1. PROVIDE ILLUMINATED EXIT SIGNS IN ALL INTERIOR EXIT CORRIDORS IN GROUP A & R-2 OCCUPANCIES PER CBC SECTION 1011.
  2. PROVIDE ONE FIRE EXTINGUISHER WITH A MINIMUM RATING OF 2A 10BC WITH A MAXIMUM TRAVEL DISTANCE OF 75' TO ALL OCCUPIED PORTIONS OF BUILDING. SEE DETAIL 2 & 3A800.
  3. ALL EXTERIOR WALLS OF TYPE IIA CONSTRUCTION TO BE FRAMED WITH FIRE RETARDANT WOOD INCLUDING STUDS, BLOCKS, PLATE BACKS, SHEAR PANELS & FIRST LAYER OF FLOOR SHEATHING ADJACENT TO EXTERIOR WALL. ALL LUMBER PENETRATING EXTERIOR WALLS TO BE FIRE RETARDANT WOOD. SEE DETAILS 2, 9, 13, 14A730.
  4. FOR ACCESSIBLE ENTRY DETAILS, SEE DETAIL 11A901.
  5. FOR FLASHING AND PENETRATION DETAILS, SEE SHEET A773, A774, A780 & A781.
  6. ALL OPENINGS IN FIRE WALLS SHALL BE PROTECTED WITH SELF-CLOSING FIRE ASSEMBLIES HAVING A FIRE RESISTANCE RATING OF 3 HOURS.
  7. DUCTS AND AIR TRANSFER OPENINGS THROUGH FIRE WALLS SHOULD BE AVOIDED. IF ALLOWED, DUCT AND AIR TRANSFER OPENING PENETRATIONS SHALL BE PROTECTED AS REQUIRED BY SECTIONS 714 AND 717, DAMPERS WITH A 3 HOUR RATING ARE REQUIRED.
  8. FOR ACCESSIBLE CLEARANCES AND SIGNAGE REFER TO DETAILS ON SHEETS A801 A803.
  9. TWO-WAY RADIO COMMUNICATION SYSTEM TO BE PROVIDED PER LAPD 610. SEE DETAIL 11 & 15A903.
  10. AT LOCATIONS WHERE THIS WALL ASSEMBLY NO LONGER REQUIRES A SHEAR PANEL ON STRUCTURAL PLANS, MAINTAIN ASSEMBLY THICKNESS & ACCURATE VALUE BY CONTINUOUS WOOD SHEATHING OR A BASE LAYER OF GYPSUM BOARD CAN REPLACE A LAYER OF WOOD SHEATHING OF SIMILAR THICKNESS.
  11. FOR FIRE PROOFING DETAILS, SEE SHEET A721 AND A725.

- WALKING SURFACE LEGEND**
- CONCRETE TOPPING ON STRUCTURAL CONCRETE SLAB SEE A742 FOR DETAILS
  - CONCRETE TOPPING ON WOOD FRAMING SEE A740 FOR DETAILS
  - DECK COATING ON CONCRETE SEE A741 FOR DETAILS
  - BATHROOM FLOOR DEPRESSION W/ CEMENTITIOUS FILLER. SEE FINISH SCHEDULE FOR FLOORINGS
  - DUAL-TYP OR RAISED CONCRETE SLAB OVER STRUCTURAL FOAM. REFER TO STRUCTURAL DRAWINGS
  - HOSE BIB. SEE PLUMBING/DEM DRAWINGS (WHERE APPLICABLE)

- RESIDENTIAL UNIT IDENTIFICATION SYMBOL**
- UNIT A-3 UNIT TYPE
  - 201 UNIT NUMBER
  - 1001 ENLARGED PLAN REFERENCE
  - MOBILITY MOBILITY/COMMUNICATION UNITS
  - ROOM IDENTIFICATION SYMBOL
  - ROOM ROOM NAME
  - 1001 ENLARGED PLAN REFERENCE

- WALL TYPE LEGEND**
- 2-HOUR FIRE BARRIER
  - 1-HOUR FIRE WALL
  - 3-HOUR FIRE WALL
  - CONCRETE WALL
  - CMU WALL
  - WOOD STUD PARTITION (1-HOUR OR NON-RATED AS INDICATED ON PLANS)
  - STEEL STUD PARTITION (1-HOUR OR NON-RATED AS INDICATED ON PLANS)
  - WALL MATERIAL: W = WOOD STUD - SEE A710; S = STEEL STUD - SEE A717; M = CMU - SEE 12A712; C = CONCRETE - SEE 12A712; PW = FIRE WALL - SEE A718
  - DETAIL NUMBER ON REFERENCED SHEET

Approved: Date 12/10/25 2:56:00 General Notes 21320 Oxnard St Phase 2 ARCH: P&L



**AC MARTIN**  
160 WILSHIRE BOULEVARD SUITE 2000  
LOS ANGELES CA 90017 310.453.1700

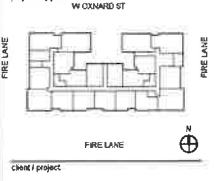
**REVISED**  
11:21 am, Feb 17, 2026

**EXHIBIT "A"**  
Page No. 39 of 57  
Case No. ADM-2023-6353-DB-SPP-HCA-ED1

project number 2307027  
project director  
project designer  
project architect

no.	date	revision
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10/05/25		PLAN CHECK SUBMITTAL
12/10/25		PLAN CHECK SUBMITTAL #2

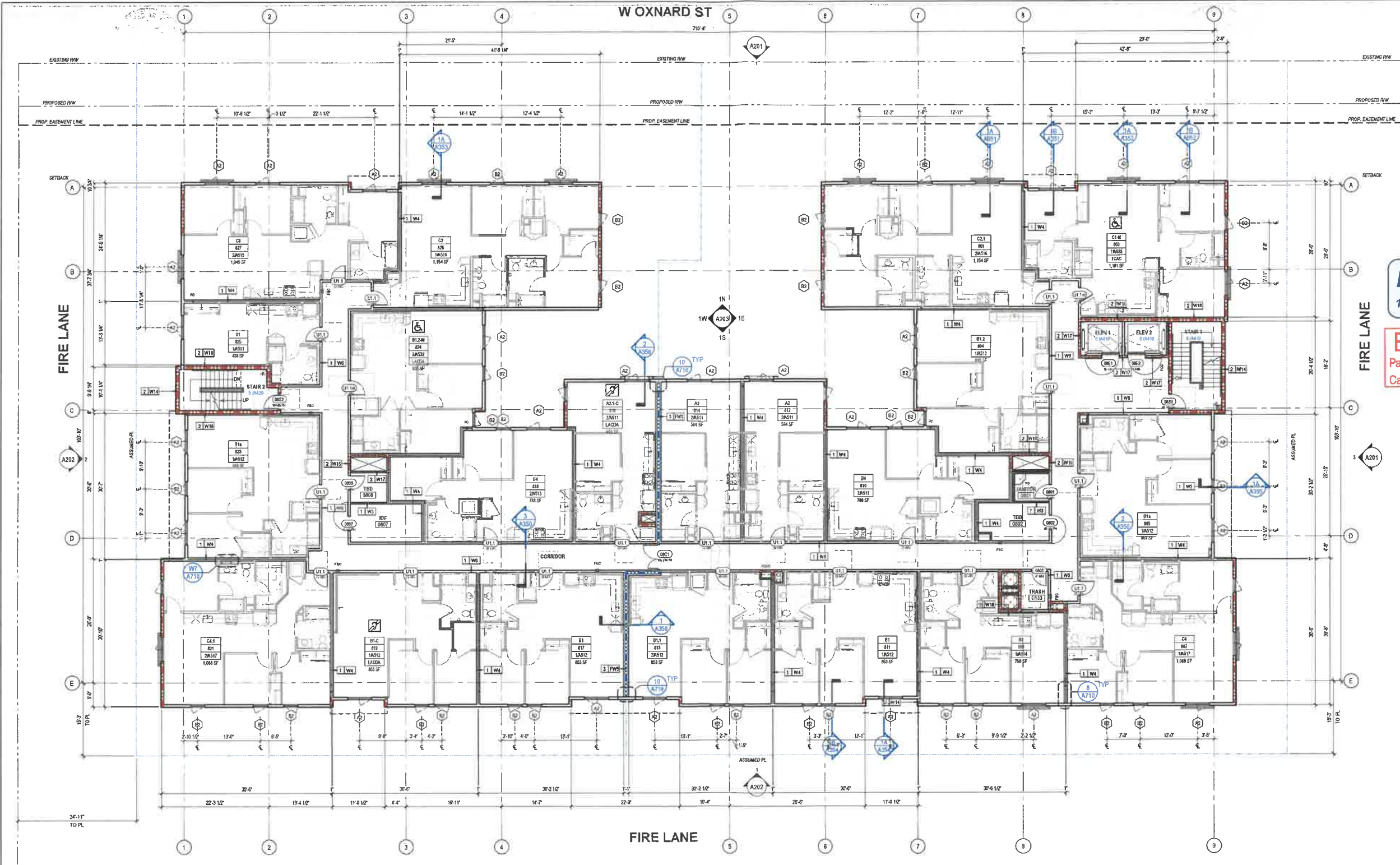
PLAN CHECK SUBMITTAL #2  
12/10/25



**21320 OXNARD ST. WARNER CENTER - PHASE 2**  
META DEVELOPMENT, LLC  
11150 W OLYMPIC BLVD, SUITE 620, LOS ANGELES, CA 90064

**LEVEL 8 - OVERALL FLOOR PLAN**

**A108**  
plot date 12/10/2025 4:36:19 PM



**LEVEL 8 - OVERALL FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

- BUILDING KEYNOTES**
- 2.11 ENCLOSURES UNDER STAIRWAY NEED TO BE 2 HR RATED WITH 30 MIN DOORS
  - 2.12 2-HOUR CEILING ASSEMBLY
  - 3.1 1-HOUR INTERIOR CORRIDOR - 8" CEILING HEIGHT MINIMUM WITH CARPET FINISH AT FLOOR. ALL UNIT ENTRY DOORS TO BE 20 MIN. RATED UNLESS NOTED OTHERWISE. SEE DETAIL 13A711
  - 3.2 1-HOUR EXTERIOR CORRIDOR W/ ALL UNIT ENTRY DOORS 20-MINUTE RATED. 8" CEILING HEIGHT MINIMUM WITH CONCRETE TOPPING AT FLOOR & STUCCO FINISH AT WALLS & CEILING. SEE DETAIL 2A714
  - 3.3 1-HOUR SHAFT. SEE DETAIL 3A730
  - 3.4 2-HOUR SHAFT. SEE MECHANICAL FOR ADDITIONAL INFORMATION. SEE DETAIL 6A730 & 12A751
  - 3.5 2-HOUR TRASH CHUTE SHAFT. SEE DETAIL 3A730
  - 3.6 FIRE EXTINGUISHER CABINET SEE DETAIL 3A400. PROVIDE CABINET WITHIN 7'5" OF END OF CORRIDORS & A MAXIMUM 150' O.C. VERIFY LOCATION WITH FIRE DEPARTMENT BEFORE INSTALLATION.
  - 3.7 1-HOUR EXTERIOR NON-BEARING WALLS FRAMED WITH APPROVED FIRE RETARDANT LUMBER AT TYPE IIA CONSTRUCTION. SEE DETAIL 2A710
  - 3.8 2-HOUR EXTERIOR BEARING WALLS FRAMED W/FR: APPROVED FIRE RETARDANT TREATED LUMBER AT TYPE IIA CONSTRUCTION. SEE DETAIL 14A710
  - 3.9 3-HOUR FIRE WALL WITH 3-HOUR PROTECTED OPENINGS. SEE SHEET A718

- BUILDING KEYNOTES**
- 3.10 HORIZONTAL EXT. 2-HOUR FIRE WALL WITH 3-HOUR PROTECTED OPENING PER DETAIL. PROVIDE STANDPIPE LOCATED WITHIN 130' OF EACH SIDE OF THE HORIZONTAL EXIT DOOR OPENINGS
  - 3.11 42" HIGH GUARDRAIL A.F.F.
  - 3.12 FLOOR TRANSITION. SEE DETAIL 17A800
  - 3.13 EXTERIOR STUCCO CORRIDOR TRANSITION TO INTERIOR DRYWALL CORRIDOR. SEE DETAIL 7A800
  - 3.14 78" X 90" RECESSED WALK-OFF MAT FOR ELEVATOR SHAFT ALIGNMENT. SEE DETAIL 1-4A730
  - 3.16 SEISMIC JOINT. SEE SHEET A738
  - 3.17 TWO-WAY COMMUNICATION SYSTEM AT ELEVATOR LANDING. SEE DETAILS 11 & 15A900
  - 3.18 FLOOR DRAIN. SEE DETAIL 4A740 FOR WOOD FRAMING AND 4-14A741 FOR CONCRETE SLAB
  - 3.19 INTERIOR METAL STUD CORRIDORS. SEE DETAILS 4A717 AND 2A726
  - 3.20 HSB BEAM / COLUMN. SEE STRUCTURAL DRAWINGS
  - 3.21 FIRE ALARM ANNUNCIATOR. PANEL SIZE AND MOUNT HEIGHT SHALL NOT PROTRUDE ACCESSIBLE RUOTE PER CBC 115-302.2
  - 3.22a INTERCOMMUNICATOR READER/PUSH BUTTON FOR ENTRANCE DOOR ON THE WALL IN THE LOBBY, PANEL SIZE AND MOUNT HEIGHT SHALL NOT PROTRUDE ACCESSIBLE RUOTE PER CBC 115-307.2. SEE LV DRAWINGS. PROVIDE POWER.
  - 3.22b INTERCOMMUNICATOR READER FOR ROLL-UP GATE. SEE LOW VOLTAGE DRAWING. PROVIDE POWER.
  - 3.23 BOX OUT FOR DRAIN LINE. SEE DETAIL 13A712
  - 3.24 EXTERIOR CORRIDOR SCIFF VENT. SEE DETAIL 13A800
  - 3.25 ACTUATOR FOR ENTRANCE DOOR OPER. WITH INTERNATIONAL SYMBOL OF ACCESSIBILITY
  - 3.26 ROLLER SHADES AT ALL OFFICE/COMMON AREA WINDOWS. TYP.
  - 3.27 RENT DROP BOX. MAX 48" TO OPENING SLOT. SEE DETAIL 20A800
  - 3.28 SEE RADON GAS MITIGATION SYSTEM DRAWINGS FOR HABITABLE SPACES, STAIRS, ELEC. RM, TRASH RM AND STORAGE SPACES
  - 3.29 POUR-IN-PLACE RUBBER MAT PER LANDSCAPE DWG. DUAL STAGE DRAINAGE SHALL BE ON TOPPING SLAB BELOW RUBBER MAT. NO INLETS ON RUBBER MAT.
  - 3.34 ADD ONE LAYER OF 5/8" GYP TO MAKE UP FOR THE THICKNESS. TYP. 8" 1/4" TO 2 1/8" WALL TRANSITION.
  - 3.35 CMU WALL WITH PLASTER FINISH ON BOTH SIDES. SEE ELEVATION FOR CONTROL JOINTS. SEE 37A2
  - 3.37 BRP FOR LANDSCAPE. SEE 8A14 AND LANDSCAPE DWGS FOR MORE INFO.
  - 3.38 PLASTER WALL WITH PLASTER FINISH. SEE 18A701. SEE 18A702 FOR MORE INFO.
  - 3.39 SIM. PROVIDE PLASTER ON BOTH SIDES. IRRADIATION CONTROLLER SHALL BE SOIL OR WEATHER RESIST. SEE LANDSCAPE DWG.

- BUILDING KEYNOTES**
- 3.22b INTERCOMMUNICATOR READER/PUSH BUTTON FOR ENTRANCE DOOR ON THE WALL IN THE LOBBY, PANEL SIZE AND MOUNT HEIGHT SHALL NOT PROTRUDE ACCESSIBLE RUOTE PER CBC 115-307.2. SEE LV DRAWINGS. PROVIDE POWER.
  - 3.22a INTERCOMMUNICATOR READER FOR ROLL-UP GATE. SEE LOW VOLTAGE DRAWING. PROVIDE POWER.
  - 3.23 BOX OUT FOR DRAIN LINE. SEE DETAIL 13A712
  - 3.24 EXTERIOR CORRIDOR SCIFF VENT. SEE DETAIL 13A800
  - 3.25 ACTUATOR FOR ENTRANCE DOOR OPER. WITH INTERNATIONAL SYMBOL OF ACCESSIBILITY
  - 3.26 ROLLER SHADES AT ALL OFFICE/COMMON AREA WINDOWS. TYP.
  - 3.27 RENT DROP BOX. MAX 48" TO OPENING SLOT. SEE DETAIL 20A800
  - 3.28 SEE RADON GAS MITIGATION SYSTEM DRAWINGS FOR HABITABLE SPACES, STAIRS, ELEC. RM, TRASH RM AND STORAGE SPACES
  - 3.29 POUR-IN-PLACE RUBBER MAT PER LANDSCAPE DWG. DUAL STAGE DRAINAGE SHALL BE ON TOPPING SLAB BELOW RUBBER MAT. NO INLETS ON RUBBER MAT.
  - 3.34 ADD ONE LAYER OF 5/8" GYP TO MAKE UP FOR THE THICKNESS. TYP. 8" 1/4" TO 2 1/8" WALL TRANSITION.
  - 3.35 CMU WALL WITH PLASTER FINISH ON BOTH SIDES. SEE ELEVATION FOR CONTROL JOINTS. SEE 37A2
  - 3.37 BRP FOR LANDSCAPE. SEE 8A14 AND LANDSCAPE DWGS FOR MORE INFO.
  - 3.38 PLASTER WALL WITH PLASTER FINISH. SEE 18A701. SEE 18A702 FOR MORE INFO.
  - 3.39 SIM. PROVIDE PLASTER ON BOTH SIDES. IRRADIATION CONTROLLER SHALL BE SOIL OR WEATHER RESIST. SEE LANDSCAPE DWG.

- FLOOR PLAN GENERAL NOTES**
1. PROVIDE ILLUMINATED EXIT SIGNS IN ALL INTERIOR EXIT CORRIDORS IN GROUP A & R-2 OCCUPANCIES PER CBC SECTION 9011.
  2. PROVIDE ONE FIRE EXTINGUISHER WITH A MINIMUM RATING OF 2A 10BC WITH A MAXIMUM TRAVEL DISTANCE OF 75' TO ALL OCCUPIED PORTIONS OF BUILDING. SEE DETAIL 2 & 3A400
  3. ALL EXTERIOR WALLS OF TYPE IIA CONSTRUCTION TO BE FRAMED WITH FIRE RETARDANT WOOD INCLUDING STUDS, BLOCKS, PLATE BACKING, SHEAR PANELS & FIRST LAYER OF FLOOR SHEATHING ADJACENT TO EXTERIOR WALL. ALL LUMBER PENETRATING EXTERIOR WALLS TO BE FIRE RETARDANT WOOD. SEE DETAILS 2, 9, 13, 14A726
  4. FOR ACCESSIBLE/ENTRY DETAILS. SEE DETAIL 14A91
  5. FOR FLASHING AND PENETRATION DETAILS. SEE SHEET A773, A774, A780 & A781
  6. ALL OPENINGS IN FIRE WALL & SHALL BE PROTECTED WITH SELF-CLOSING FIRE ASSEMBLIES HAVING A FIRE RESISTANCE RATING OF 3 HOURS.
  7. DUCTS AND AIR TRANSFER OPENINGS THROUGH FIRE WALLS SHOULD BE AVOIDED. IF ALLOWED, DUCT AND AIR TRANSFER OPENING PENETRATIONS SHALL BE PROTECTED AS REQUIRED BY SECTIONS 714 AND 717. DAMPERS WITH A 3 HOUR RATING ARE REQUIRED.
  8. FOR ACCESSIBLE CLEARANCES AND SIGNAGE REFER TO DETAILS ON SHEETS A501 & A503
  9. TWO-WAY RADIO COMMUNICATION SYSTEM TO BE PROVIDED PER LAFD 511. SEE DETAIL 11 & 15A90
  10. AT LOCATIONS WHERE THIS WALL ASSEMBLY NO LONGER REQUIRES A SHEAR PANEL ON STRUCTURAL PLANS, MAINTAIN ASSEMBLY THICKNESS & ACOUSTIC VALUE BY CONTINUOUS WOOD SHEATHING OR A BASE LAYER OF GYPSUM BOARD CAN REPLACE A LAYER OF WOOD SHEATHING OF SIMILAR THICKNESS.
  11. FOR FIRE PROOFING STEEL COLUMNS SEE DETAILS ON SHEET A721 AND A725

- WALKING SURFACE LEGEND**
- CONCRETE TOPPING ON STRUCTURAL CONCRETE SLAB SEE A742 FOR DETAILS
  - CONCRETE TOPPING ON WOOD FRAMING SEE A740 FOR DETAILS
  - DECK COATING ON CONCRETE SEE A741 FOR DETAILS
  - BATHROOM FLOOR DEPRESSION W/ CEMENTITIOUS FILLER. SEE FINISH SCHEDULE FOR FLOORING
  - NOTE: SLOPE DECK 1.8% MAX. NO WALKING SURFACE CAN EXCEED 1.8%.
  - BUILT-UP OR RAISED CONCRETE SLAB OVER STRUCTURAL FOAM. REFER TO STRUCTURAL DRAWINGS
  - HOSE BIB. SEE PLUMBING/MECH DRAWINGS (WHERE APPLICABLE)

- ROOM SYMBOL LEGEND**
- RESIDENTIAL UNIT IDENTIFICATION SYMBOL
- UNIT # - UNIT TYPE
  - UNIT # - UNIT NUMBER
  - ENLARGED PLAN REFERENCE
  - MOBILITY/COMMUNICATION UNITS
- ROOM IDENTIFICATION SYMBOL
- ROOM - ROOM NAME
  - ENLARGED PLAN REFERENCE

- WALL TYPE LEGEND**
- 2-HOUR FIRE BARRIER
  - 3-HOUR FIRE WALL
  - CONCRETE WALL
  - CMU WALL
  - WOOD STUD PARTITION (1-HOUR OR NON-RATED AS INDICATED ON PLANS)
  - STEEL STUD PARTITION (1-HOUR OR NON-RATED AS INDICATED ON PLANS)
  - WALL MATERIAL: W = WOOD STUD - SEE A710; S = STEEL STUD - SEE A717; M = CMU - SEE 12A712; C = CONCRETE - SEE 12A712; FW = FIRE WALL - SEE A715
  - DETAIL NUMBER ON REFERENCED SHEET

21320 Oxnard St. Warner Center - Phase 2 - Overall Floor Plan - LARCH, 2025



**AC MARTIN**  
 100 WILSHIRE BOULEVARD, SUITE 1800  
 LOS ANGELES, CA 90017 T 213 483 1800

**REVISED**  
 11:21 am, Feb 17, 2026

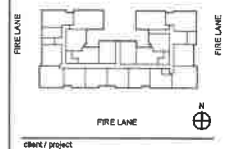
**EXHIBIT "A"**  
 Page No. 4 of 57  
 Case No. ADM-2023-6353-DB-SP-PP-HCA-ED1

project number 230707  
 project director  
 project designer  
 project architect

no.	date	revision
05/06/25		DESIGN DEVELOPMENT
10/20/25		PLAN CHECK SUBMITTAL #1
12/10/25		PLAN CHECK SUBMITTAL #2

project status  
**PLAN CHECK SUBMITTAL #2**  
 12/10/25

project key plan  
 W OXNARD ST



sheet / project

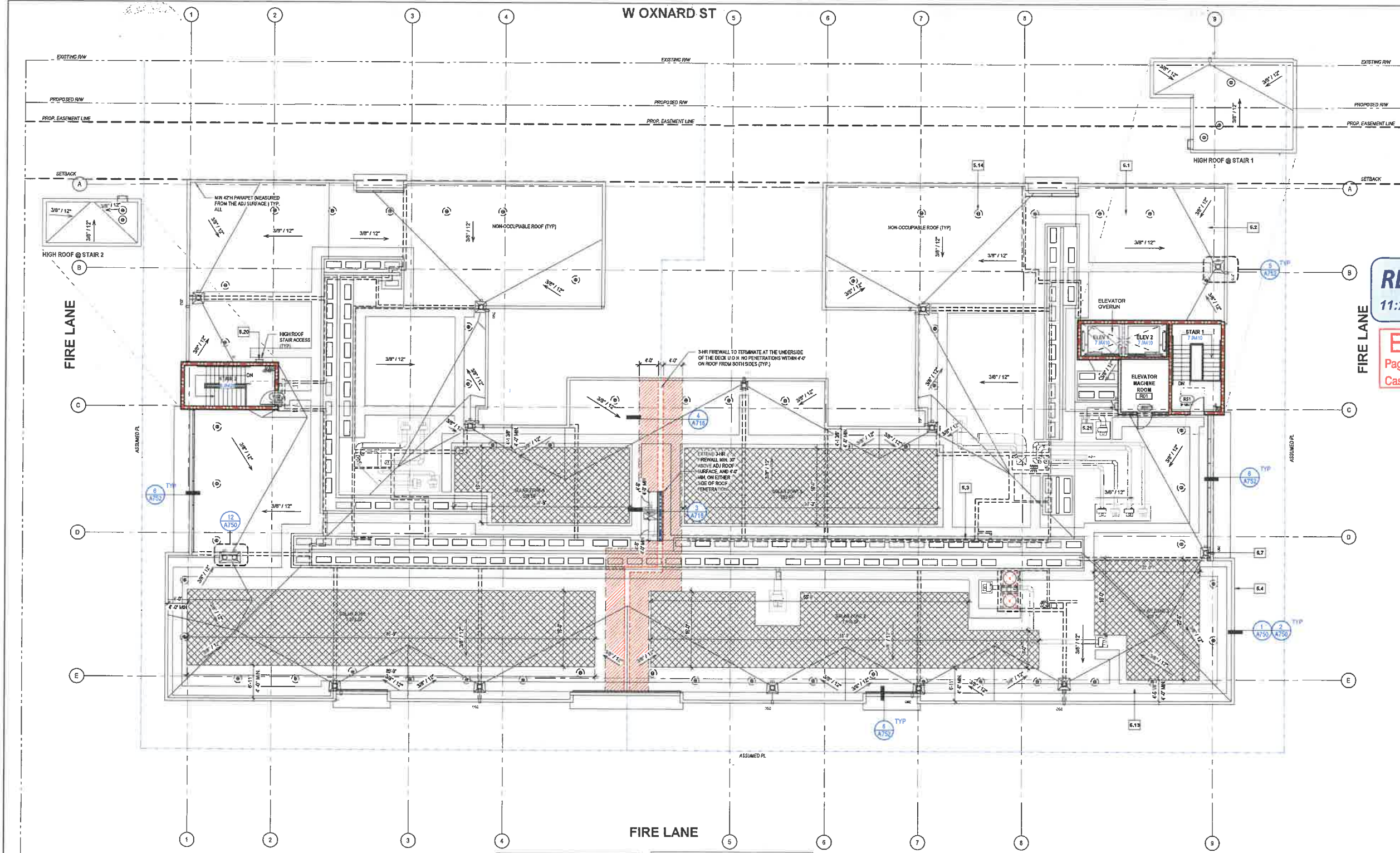
**21320 OXNARD ST. WARNER CENTER - PHASE 2**  
 META DEVELOPMENT, LLC  
 11150 W OLYMPIC BLVD, SUITE 620,  
 LOS ANGELES, CA 90064

sheet name

**OVERALL ROOF PLAN**  
 sheet number

**A109**

plot date 12/10/2025 4:37:07 PM



**NOTE**  
 10% OF THE ROOF SHALL HAVE MAXIMUM SLOPE LESS THAN 2:12 (H:V) AND S/S GREATER THAN 7/8.

**TABLE OF FINISHES**  
 JOINTS: WHITE  
 COLOR: WHITE  
 LEED (DQ) (ASTM E1905): 3-YEAR AGED + 18  
 DETAILS 17, 18, 19 & 20A/20B  
 CRIC SOLAR SELECTIVITY (ASTM C1171): 3-YEAR AGED + 0.86  
 UL QUALIFICATION REPORT: UL 2818 (E7)  
 UL CERTIFICATION CATEGORY: TGFU R10192

**ROOF - OVERALL PLAN**  
 SCALE: 1/8" = 1'-0"

- LOW SLOPE ROOF KEYNOTES**
- 4.14 2% SLOPE AROUND THE POOL WITH SLIP-RESISTANT FINISH MATERIAL.
  - 4.15 TILE TRICH PAVERS PEDESTAL SYSTEM OR APPROVED EQUAL - SEE SHEET A803 FOR LARR REPORT.
  - 4.16 STEEL BEAM - SEE STRUCTURAL - USE INTERMEDIATE PAINT FOR FIREPROOFING.
  - 4.48 CONDUITS ENCASED IN CONC. SEE ELEC. & STRUCTURAL DWG.
  - 4.49 NAT FOUNDATION BOX-OUT FOR CABLE TRINCH. GC TO COORDINATE W/MDP.
  - 4.50 PLAY STRUCTURE/EXERCISE EQUIPMENT. SEE DETAIL 19A/741 FOR MOUNTING DETAIL. SEE LANDSCAPE DWGS FOR MOUNTING LOCATIONS.
  - 5.1 JM TPO-60 MIL SINGLE-PLY ROOFING W/ LIGHT COLOR REFLECTIVE SURFACE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS WITH 3/8" PER FOOT MINIMUM SLOPE. SEE SHEET A750 & C168
  - 5.2 CRACKETS WITH MIN. 3/8" PER FOOT SLOPE TO DRAIN
  - 5.3 HVAC MECHANICAL PLATFORM. SEE MECHANICAL DRAWINGS FOR EQUIPMENT SIZE & SPACING. SEE DETAILS 10 & 11A/750
  - 5.4 ROOF PARAPET. SEE PLAN FOR HEIGHT, WITH ROOFING MATERIAL ON BACKSIDE OF PARAPET MINIMUM 42" HIGH ABOVE ROOF SURFACE OR AS CALLED OUT ON PLANS. SEE DETAILS 1 & 2A/750

- LOW SLOPE ROOF KEYNOTES**
- 5.5 ROOF PARAPET. SEE PLAN FOR HEIGHT, WITH STUCCO ON BACKSIDE OF PARAPET MINIMUM 42" HIGH ABOVE ROOF SURFACE OR AS CALLED OUT ON PLANS. SEE DETAILS 3 & 4A/750
  - 5.6 ROOF FLASHING ADJACENT TO WALLS. SEE DETAILS 3 & 4A/750
  - 5.7 ROOF DRAIN. SEE DETAIL 8A/750
  - 5.8 OVERFLOW SCUPPER. PAINT COLOR TO MATCH ADJACENT FACADE. PER PLUMBING CODE, MIN. 4" HEIGHT. SEE DETAIL 14A/750
  - 5.9 ROOF DRAIN AND OVERFLOW DRAIN. SEE DETAIL 12A/750
  - 5.10 ROOF SCUPPER WITH DOWNSPOUT. SEE DETAIL 13A/750. PROVIDE SPLASH BLOCK.
  - 5.11 ELEVATOR PRESSURE RELIEF VENT (REMOVABLE LOUVER FOR ACCESS. SEE DETAIL 9A/751). 3/8" MINIMUM FREE AIR VENT W/ GALV. INSECT SCREEN OR 6 S.F. MIN
  - 5.12 TRASH CHUTE VENT. EXTEND 3' ABOVE ROOF.
  - 5.13 WALKING PADS
  - 5.14 ROOF TIE-DOWN ANCHORS. SEE FACADE ACCESS DRAWINGS FOR ALL LOCATIONS. SEE DETAIL 26A/751
  - 5.15 PROVIDE 1-HOUR RATED WALL BETWEEN UNITS, AND ALSO BETWEEN UNITS AND PUBLIC CORRIDORS. SEE DETAIL 6 & 10 A/712.
  - 5.16 PAVERS ON PEDESTALS - REFER TO LANDSCAPE DRAWINGS. SEE SHEET A752

- LOW SLOPE ROOF KEYNOTES**
- 5.17 ROOFING OVER TAPERED RIGID INSULATION SLOPED AT 3/8" PER FOOT MINIMUM
  - 5.18 12" WIDE X 8" TALL GAP AT BOTTOM OF WALL WITH SCUPPER AND OVERFLOW SCUPPER
  - 5.19 NOT USED.
  - 5.20 ROOF LADDER. SEE DETAIL 17A/751
  - 5.21 2-4R SHIRT ABOVE ROOF. SEE 19A/753.
  - 5.22 GUARDRAIL. SEE 14A/751.
  - 5.23 ROOF CURB FOR DUCT. SEE 12A/751 SIM.
  - 5.24 SEE 16A/751, SIM.
  - 5.25 PROVIDE SMOKE DETECTOR ON CEILING OF ELEVATOR PENTHOUSE.
  - 5.31 CONCRETE ROOF TILES. INSTALL PER MANUFACTURER'S RECOMMENDATION.
  - 5.32 GALVANIZED GUTTER TIED TO DOWNSPOUTS.
  - 5.33 1-HOUR DRAFTSTOPS ABOVE ALL UNIT SEPARATION WALLS AND CORRIDOR WALLS.
  - 5.34 CERTAINTED ASPHALT SHINGLE COOL ROOF. SEE ESR NUMBER AND DETAIL ON SHEET A802. SEE WATERPROOFING SCHEDULE ON SHEET A800 FOR WATERPROOFING RECOMMENDATION.

**ROOF NOTES**

1. ROOF PENETRATIONS: NO PENETRATIONS ALLOWED WITHIN 18" OF VALLEYS, RIDGES, PARAPETS OR WALLS. SEE DETAILS 17, 18, 19 & 20A/20B
2. ALL ROOF RUN OFF TO BE DIRECTED TO BMP. SEE CIVIL & PLUMBING DRAWINGS.

**SOLAR ZONE CALC.**

REQUIRED: 15% OF ROOF AREA

TOTAL ROOF AREA: 20,384 SF  
 REQ. SOLAR AREA: 3,058 SF  
 PROVIDED AREA: 1,372 SF + 1,110 SF + 497 SF + 536 SF + 652 SF = 4,175 SF

**NOTE:** SOLAR LOCATIONS TO BE APPROVED UNDER SEPARATE PERMIT.

- ROOF LEGEND**
- RD ROOF DRAIN. SEE DETAIL.
  - RD/OD COMBO ROOF AND OVERFLOW DRAIN. SEE DETAIL.
  - SC/DS SCUPPER AND DOWNSPOUT. SEE DETAIL.
  - OS OVERFLOW SCUPPER 2" ABOVE PRIMARY DRAIN. SEE DETAIL.
  - DS DOWNSPOUT. SEE DETAIL.
  - 17 A/751 LADDER. SEE DETAIL.
  - 11 A/751 MECHANICAL PLATFORM AND EQUIPMENT.
  - WALKING PADS.
  - FIREWALL TERMINATION - NO PENETRATION WITHIN 4" OF EITHER SIDE OF FIREWALL.
  - UNIT PARTY WALL OR CORRIDOR WALL. CONTINUE 1-HR SEPARATION TO TOP OF ROOF.
  - HOSE BIB. SEE PLUMBING/EQM DRAWINGS (WHERE APPLICABLE).

- WALL TYPE LEGEND**
- 2-HOUR FIRE BARRIER
  - 3-HOUR FIRE WALL
  - CONCRETE WALL
  - CMU WALL
  - WOOD STUD PARTITION (1-HOUR OR NON-RATED AS INDICATED ON PLANS)
  - STEEL STUD PARTITION (1-HOUR OR NON-RATED AS INDICATED ON PLANS)
  - 17 A/751
  - 11 A/751
  - W
  - S
  - CMU
  - C
  - FW
- WALL MATERIAL**  
 W = WOOD STUD - SEE A710  
 S = STEEL STUD - SEE A717  
 CMU = CMU - SEE 120A/710  
 C = CONCRETE - SEE 120A/712  
 FW = FIRE WALL - SEE A716
- DETAIL NUMBER ON REFERENCED SHEET**

Autodesk Drawings/230707/230707-21320 Oxnard Phase 2/META-Overall Phase 2/ARCH\_EPLAN.dwg



ACMARTIN  
100 WILSHIRE BOULEVARD SUITE 2810  
LOS ANGELES CA 90017 212 683 1100

### ELEVATIONS KEYNOTES

- 6.13 TYPE III-A CONSTRUCTION: 1 HOUR ROOF & CEILING ASSEMBLY. SEE ROOF DETAIL A750
- 7.1 THREE-COAT EXTERIOR CEMENT PLASTER. SEE SHEET A770
- 7.2 EXTERIOR CEMENT PLASTER HORIZONTAL AND VERTICAL CONTROL JOINT. SEE DETAIL 11A770
- 7.3 TWO-PIECE CONTROL JOINT. SEE DETAIL 13A770
- 7.4 TWO-PIECE CONTROL JOINT AT ROOM LEVEL. SEE DETAIL 11A771
- 7.5 DRIP SCREED AT ALL SOFFITS. SEE DETAIL 4A770
- 7.6 CONTINUOUS STUCCO WEEP SCREED AT BASE OF BUILDING. SEE DETAIL 6A770
- 7.7 HORIZONTAL DRIFT JOINT
- 7.8 VERTICAL DRIFT JOINT
- 7.9 TWO-COAT EXTERIOR CEMENT PLASTER OVER CONCRETE BLOCK OR CONCRETE
- 7.10 4" MINIMUM HIGH METAL QUADRANT AT EXIT CORRIDOR. SET TOP RAIL LEVEL. SEE DETAILS 3 & 4A810
- 7.11 FLUSH VINYL WINDOW. SEE DETAIL 1A780
- 7.12 RECESS VINYL WINDOW. SEE DETAIL 8A780
- 7.13 ROOF SCUPPER WITH DOWNSPOUT. SEE DETAIL 13A750
- 7.14 ROOF OVERFLOW SCUPPER. SEE DETAIL 14A750
- 7.15 BALCONY OVERFLOW SCUPPER SET 2" ABOVE DECK DRAIN OR 1/2" BELOW THE FINISH FLOOR, WHICHEVER IS LOWER. SEE DETAIL 15A740
- 7.16 OVERHEAD HIGH SPEED VEHICULAR GRILLE. SEE DETAIL 8A820
- 7.17 TILT-UP VEHICULAR GATE. SEE DETAIL 5A702
- 7.18 ROLL-UP OVERHEAD DOOR. SEE DETAIL 7A702
- 7.19 GARAGE METAL RAILING
- 7.20 AWNING. SEE DETAIL 1A813
- 7.21 EXTERIOR MECHANICAL VENT. COLOR TO MATCH THE ADJACENT FACADE. SEE MECHANICAL DRAWING. SEE DETAIL 5A813 AND 11A813 FOR CONCRETE STUD WALL UNIT VENT. VENT TO BE 3" MIN. AWAY FROM ANY OPENING ON BUILDING FACADE. PAINT COLOR TO MATCH ADJACENT FACADE. SEE MECHANICAL DRAWINGS. FACADE DETAIL SEE 15A771
- 7.22 SERVIC JOINT. SEE SHEETS A737, A738 AND A739
- 7.23 EXTERIOR LIGHTING FIXTURE. SEE ELEC. DRAWINGS
- 7.25 ALUMINUM SHEET. 1/8" THK. HIGH PERFORMANCE COATING MATCHING LOUVER. 7'-10 1/4" BLANK OFF FOR EXHAUST COORDINATE LOCATION WITH MECH.

### ELEVATION GENERAL NOTES

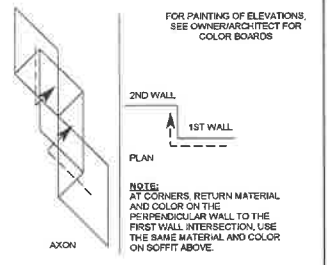
- 1. FOR ADDITIONAL FLASHING & PENETRATION DETAILS, SEE SHEETS A773, A774, A890, A891 & A892
- 2. HORIZONTAL DRIFT JOINTS (HJD) OCCUR WHERE EXTERIOR NON-LOAD BEARING WALLS OR WINDOW HEADS ABUT THE UNDERSIDE OF CONCRETE SLAB/ROOF PANELS
- 3. VERTICAL DRIFT JOINTS (VDJ) OCCUR WHERE METAL STUDS OR WINDOW JAMBS ABUT CONCRETE WALLS OR COLUMNS
- 4. PROVIDE 1/2" MIN. FOR VERTICAL DRIFT
- 5. PROVIDE VERTICAL 1" FRAMING BOSSED STUD JAMB WHERE VINYL OR NON-FULL HEIGHT STOREFRONT WINDOWS ABUT CONCRETE WALLS OR COLUMNS
- 6. PROVIDE DRIFT JOINTS WHERE FULL-HEIGHT STOREFRONT WINDOWS ABUT CONCRETE WALLS OR COLUMNS. WINDOWS SHALL CONTAIN BUILT-IN INSULATION COMPENSATE CHANNELS AT HEAD AND JAMBS FOR HORIZONTAL AND VERTICAL DRIFTS
- 7. SEE SHEET 0308 FOR AVERAGE GRADE PLANE CALCS
- 8. OUTDOOR LIGHTING SYSTEMS SHALL BE DESIGNED AND WITH REQUIREMENTS REFERENCED ON CON FORMS
- 9. PROVIDE ANTI-GRAFFITI FINISH AT THE FIRST 9 FEET MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS

### MATERIAL SCHEDULE

FOR MORE INFORMATION SEE A821

Q MARK	COMPONENT	COLOR
A0	EXTERIOR CEMENT PLASTER	
A1	EXTERIOR CEMENT PLASTER	SW751 GREEN VANILLA
A2	EXTERIOR CEMENT PLASTER	SHERWIN WILLIAMS - COLOR 1
A3	EXTERIOR CEMENT PLASTER	SHERWIN WILLIAMS - COLOR 2
B1	FIBER CEMENT SIDING	HF1615U COPPERWOOD
D1	VINYL WINDOW	VISION GLASS / GREY T83M
E1	ALUMINUM STOREFRONT	VISION GLASS / GREY ALUMINUM
Q1	CLADDING	
H1	EXPOSED CONCRETE EDGE	SHERWIN WILLIAMS - BLACK
L1	METAL LOUVERS	MATCH ADJACENT SURFACE COLOR
M1	ALUMINUM COMPOSITE MATERIAL	DUSTY CHARCOAL B
M2	METAL COLUMN COVER	SLATE GRAY
R1	PRE-FABRICATED ALUMINUM PANEL DECORATIVE RAILING PROTECTION	BLACK
R2	STAINLESS STEEL ORNAMENTAL	PPG DURABOND COATINGS - 7L SILVER SHADOW
R3	PAINTED METAL ORNAMENTAL RAILING	BLACK

### PAINTING GUIDE



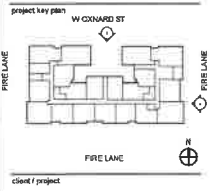
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11:21 am, Feb 17, 2026

**EXHIBIT "A"**  
Page No. 41 of 57  
Case No. ADM-2023-6353-DB-SPP-HCA-ED1

project number 2307027  
project director  
project designer  
project architect

no.	date	revision
09/04/25		DESIGN DEVELOPMENT
10/02/25		PLAN CHECK SUBMITTAL #1
12/10/25		PLAN CHECK SUBMITTAL #2

PLAN CHECK SUBMITTAL #2  
12/10/25

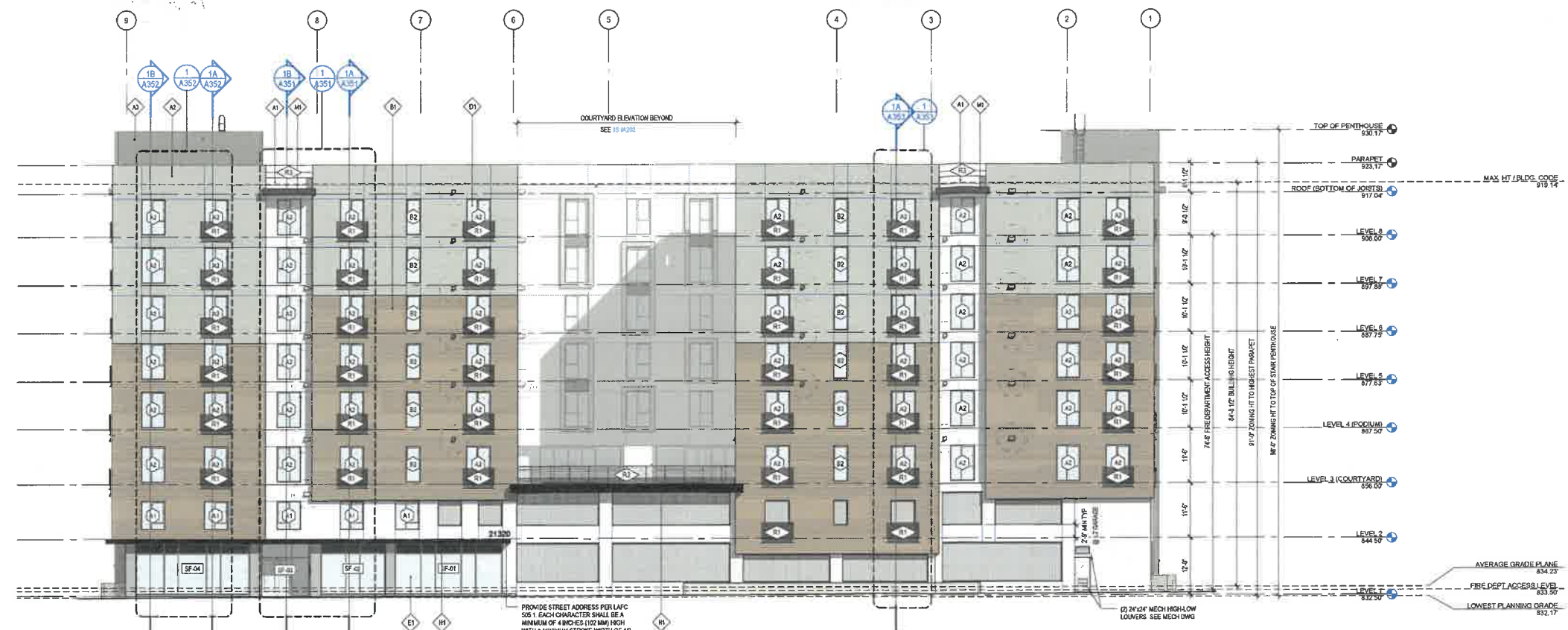


**21320 OXNARD ST. WARNER CENTER - PHASE 2**  
META DEVELOPMENT, LLC  
11150 W OLYMPIC BLVD,  
SUITE 620,  
LOS ANGELES, CA 90064

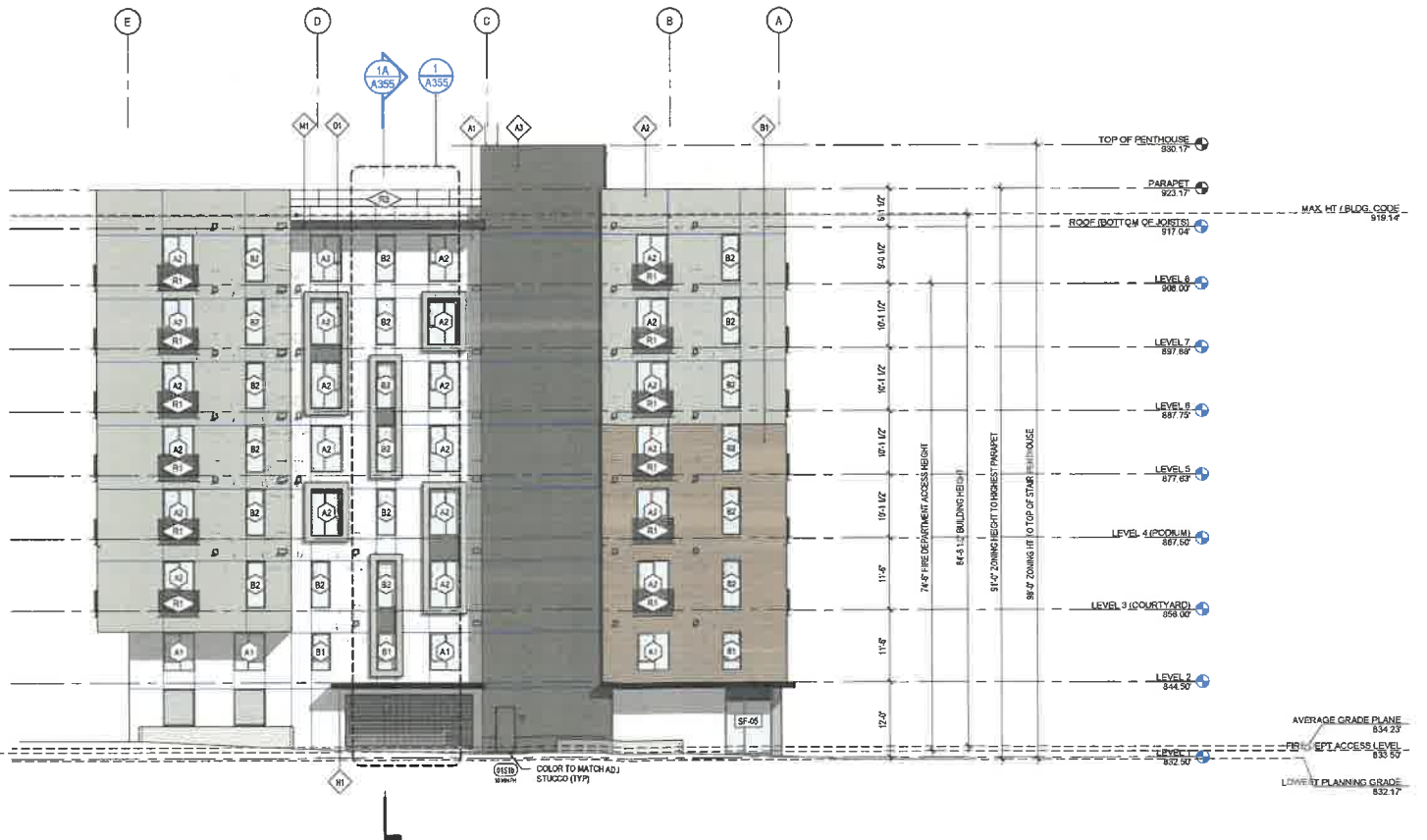
**BUILDING ELEVATIONS- NORTH (OXNARD ST) AND EAST (FIRE LANE)**

sheet number **A201**

plot date 12/10/2025 3:58:05 PM

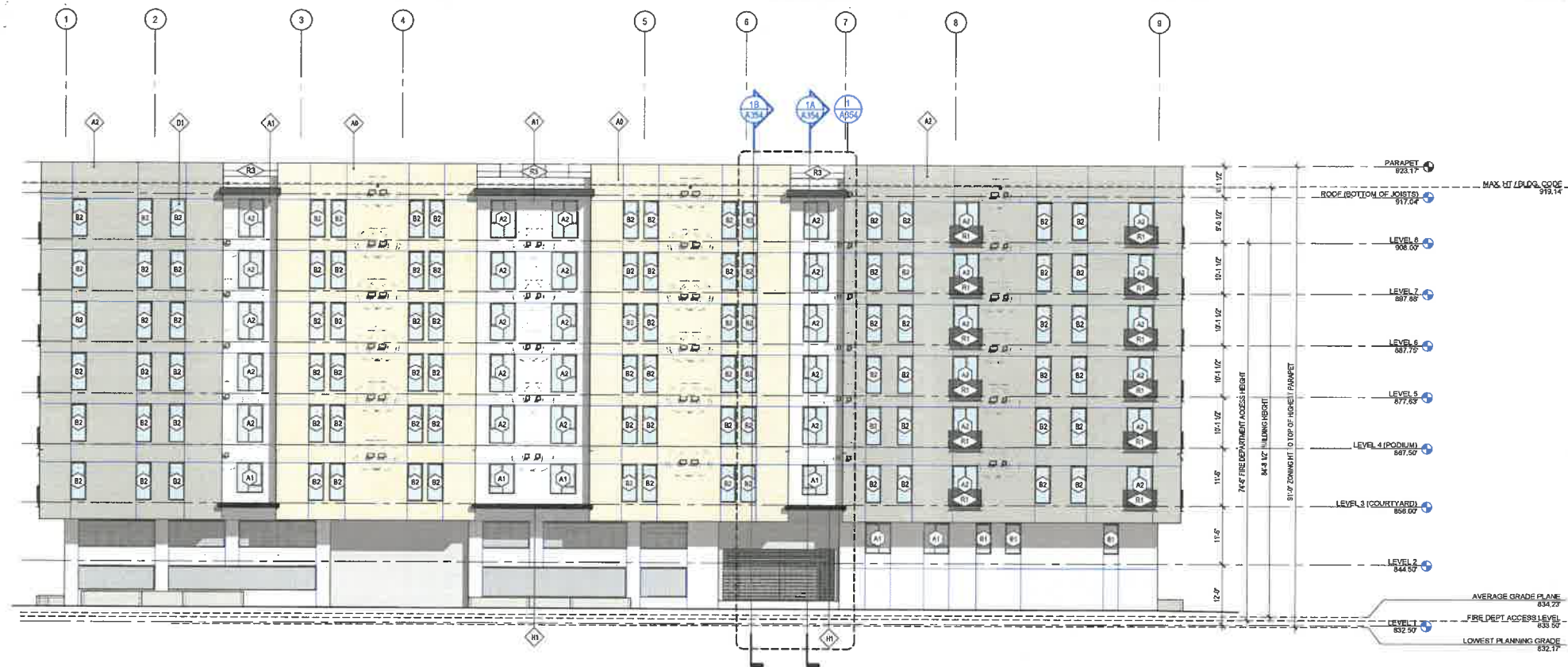


**NORTH ELEVATION (OXNARD STREET) 1**  
SCALE: 3/32" = 1'-0"



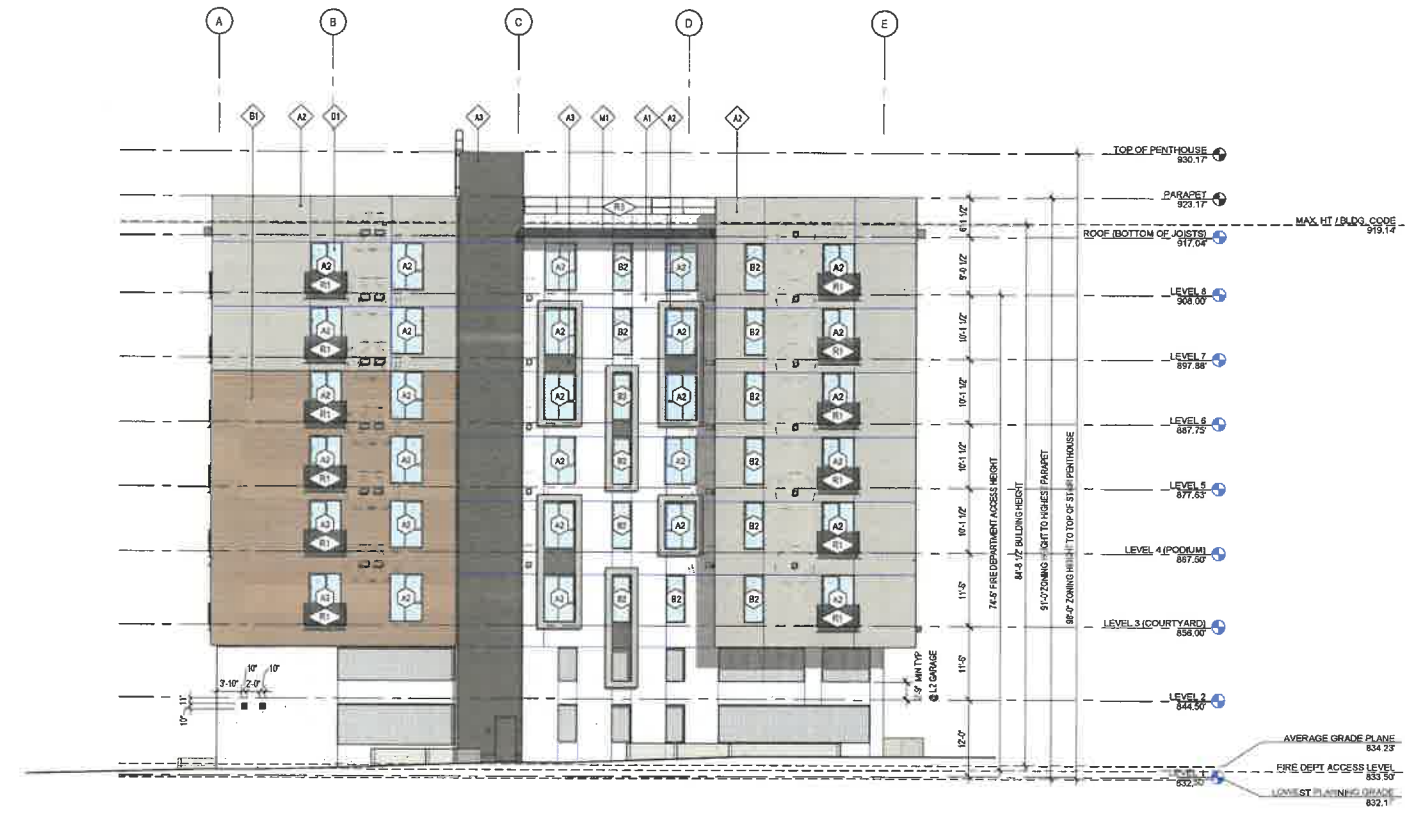
**EAST ELEVATION (FIRE LANE) 3**  
SCALE: 3/32" = 1'-0"

Addendum Date: 02/02/2027, 2:00:00, Content Phase: 21MET1-Contest Phase II, BDCU, R24-04



**SOUTH ELEVATION (FIRE LANE FACING PHASE 1 BLDG)**  
SCALE: 3/32" = 1'-0"

1  
A202



**WEST ELEVATION (FIRE LANE)**  
SCALE: 3/32" = 1'-0"

2  
A202

**ELEVATIONS KEYNOTES**

- 6.13 TYPE III-A CONSTRUCTION- 1 HOUR ROOF & CEILING ASSEMBLY. SEE ROOF DETAILS A750
- 7.1 THREE-COAT EXTERIOR CEMENT PLASTER. SEE SHEET A770
- 7.2 EXTERIOR CEMENT PLASTER HORIZONTAL AND VERTICAL CONTROL JOINT. SEE DETAIL 11A770
- 7.3 TWO-PIECE CONTROL JOINT. SEE DETAIL 10A770
- 7.4 TWO-PIECE CONTROL JOINT AT POOLUM LEVEL. SEE DETAIL 11A771
- 7.5 DRIP SCREED AT ALL SOFFITS. SEE DETAIL 4A770
- 7.6 CONTINUOUS STUCCO WEEP SCRIBED AT BASE OF BUILDING. SEE DETAIL 5A770
- 7.7 HORIZONTAL DRIFT JOINT
- 7.8 VERTICAL DRIFT JOINT
- 7.9 TWO-COAT EXTERIOR CEMENT PLASTER OVER CONCRETE BLOCK OR CONCRETE
- 7.10 4" MINIMUM HIGH METAL GUARDRAIL AT EXIT CORRIDOR. SET TOP RAIL LEVEL. SEE DETAILS 3 & 4A510
- 7.11 FLUSH VINYL WINDOW. SEE DETAIL 11A780
- 7.12 RECESS VINYL WINDOW. SEE DETAIL 8A780
- 7.13 ROOF SCUPPER WITH DOWNSPOUT. SEE DETAIL 13A750
- 7.14 ROOF OVERFLOW SCUPPER. SEE DETAIL 14A750
- 7.15 BALCONY OVERFLOW SCUPPER SET 2" ABOVE DECK DRAIN OR 1/4" BELOW THE FINISH FLOOR, WHICHEVER IS LOWER. SEE DETAIL 15A740
- 7.16 OVERHEAD HIGH SPEED VEHICULAR GRILLE. SEE DETAIL 8A802
- 7.17 TILT-UP VEHICULAR GATE. SEE DETAIL 5A702
- 7.18 ROLL-UP OVERHEAD DOOR. SEE DETAIL 7A702
- 7.19 GARAGE METAL RAILING
- 7.20 AWNING. SEE DETAIL 11A813
- 7.21 EXTERIOR MECHANICAL VENT. COLOR TO MATCH THE ADJACENT FACADE. SEE MECHANICAL DRAWING. SEE DETAIL 5A751 AND 11A701 FOR GALVANNELED STUD WALL.
- 7.22 UNIT VENT- VENT TO BE 3" MIN. AWAY FROM ANY OPENING ON BUILDING FACADE. PAINT COLOR TO MATCH ADJACENT FACADE. SEE MECHANICAL DRAWINGS. FACADE DETAIL SEE 15A771
- 7.23 RESSURE. CONT. SEE SHEETS A737, A738 AND A739
- 7.24 EXTERIOR LIGHTING FIXTURE. SEE ELEC. DRAWINGS
- 7.25 ALUMINUM SHEET .125" THK. HIGH PERFORMANCE COATING MATCHING LOUVER. 7'-10 1/4" BLANK OFF FOR EXHAUST. COORDINATE LOCATION WITH MECA.

**ELEVATION GENERAL NOTES**

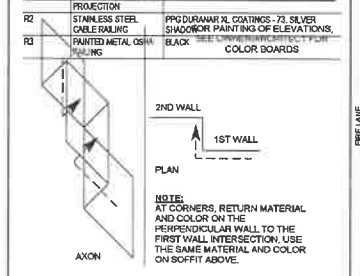
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- 2. HORIZONTAL DRIFT JOINTS (HJD) OCCUR WHERE EXTERIOR NON-CAD BEARING WALLS OR WINDOW HEADS ABUT THE UNDERSIDE OF CONCRETE SLAB/DROP PANELS.
- 3. VERTICAL DRIFT JOINTS (VDJ) OCCUR WHERE METAL STUDS OR WINDOW JAMBS ABUT CONCRETE WALLS OR COLUMNS.
- 4. PROVIDE 1/2" MIN. FOR VERTICAL DRIFT.
- 5. PROVIDE 1/4" UP TRUCK WITH BOXED STUD JAMB WHERE VINYL OR NON-FULL HEIGHT STOREFRONT WINDOWS ABUT CONCRETE WALLS OR COLUMNS.
- 6. PROVIDE DRIFT JOINTS WHERE FULL-HEIGHT STOREFRONT WINDOWS ABUT CONCRETE WALLS OR COLUMNS. WINDOWS SHALL CONTAIN MULTISUBFRAME COMPENSATE CHANNELS AT HEAD AND JAMBS FOR HORIZONTAL AND VERTICAL DRIFTS.
- 7. SEE SHEET C006 FOR AVERAGE GRADE PLANE CALCS.
- 8. OUTDOOR LIGHTING SYSTEMS SHALL BE DESIGNED AND COMPLY WITH REQUIREMENTS REFERENCED ON GRN FORMATS.
- 9. PROVIDE ANTI-GRAFFITI FINISH AT THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS.

**MATERIAL SCHEDULE**

FOR MORE INFORMATION SEE A621

MARK	COMPONENT	COLOR
A0	EXTERIOR CEMENT PLASTER	
A1	EXTERIOR CEMENT PLASTER	SWISS GRSEX VANILLA
A2	EXTERIOR CEMENT PLASTER	SHERWIN WILLIAMS - COLOR 1
A3	EXTERIOR CEMENT PLASTER	SHERWIN WILLIAMS - COLOR 2
B1	FIBER CEMENT SIDING	WYETHS II CAPRICORN
D1	VINYL WINDOW	VISION GLASS GREY TRIM
E1	ALUMINUM STOREFRONT GLAZING	VISION GLASS GREY ALUMINUM
H1	EXPOSED CONCRETE EDGE	SHERWIN WILLIAMS - BLACK
L1	METAL LOUVERS	MATCH ADJACENT SURFACE COLOR
M1	ALUMINUM COMPOSITE MATERIAL	SLATE CHARCOAL II
M2	METAL COLUMN COVER	SLATE GRAY
R1	PRO-OXIDIZED ALUMINUM PANEL	BLACK

**PAINTING GUIDE**

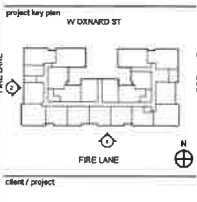


**ACMARTIN**  
183 WILSHIRE BOULEVARD, SUITE 2800  
LOS ANGELES, CA 90017 T 213 483 1100

project number 2307027  
project director  
project designer  
project architect

NO.	DATE	REVISION
08/05/25		DESIGN DEVELOPMENT
10/05/25		PLAN CHECK SUBMITTAL #1
12/10/25		PLAN CHECK SUBMITTAL #2

project status  
**PLAN CHECK SUBMITTAL #2**  
12/10/25



**21320 OXNARD ST. WARNER CENTER - PHASE 2**  
META DEVELOPMENT, LLC  
11150 W OLYMPIC BLVD, SUITE 620,  
LOS ANGELES, CA 90064

**BUILDING ELEVATIONS - SOUTH (FIRE LANE FACING PHASE 1 BLDG) AND WEST (FIRE LANE)**

**A202**

**REVISED**  
11:21 am, Feb 17, 2026

**EXHIBIT "A"**  
Page No. 22 of 57  
Case No. ADM-2023-6353-DB-SPP-HCA-ED1



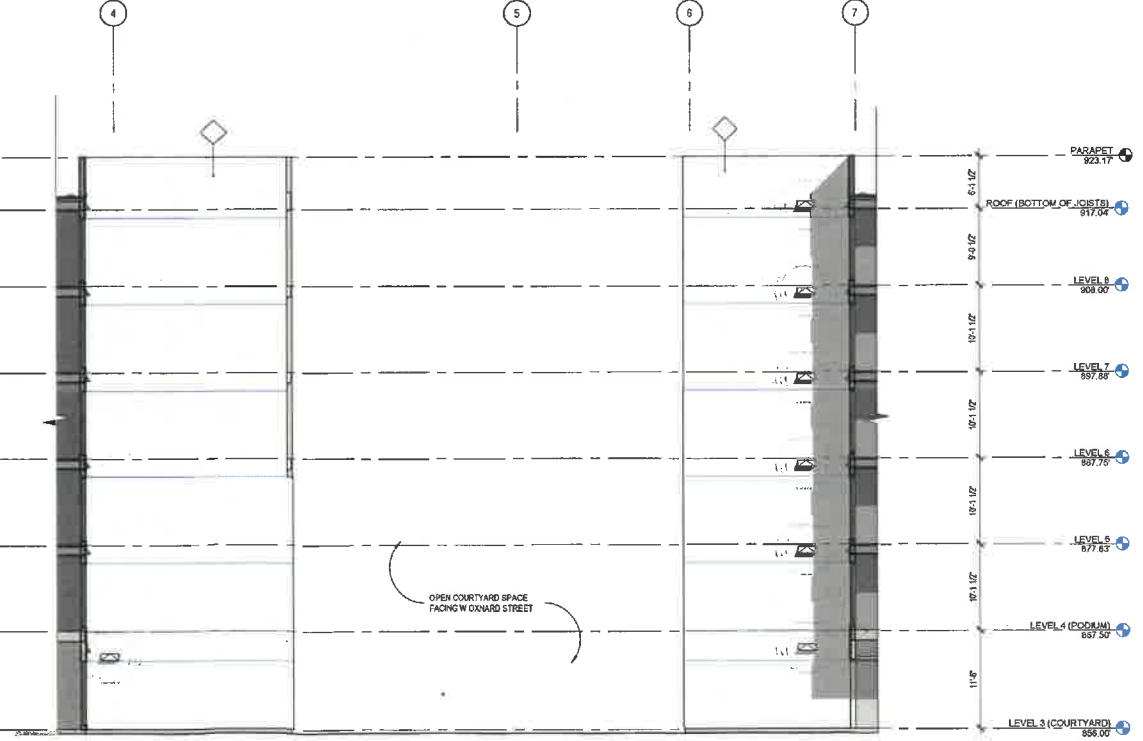
**COURTYARD ELEVATION - EAST**  
SCALE: 1/8" = 1'-0"  
**1E**  
A203



**COURTYARD ELEVATION - SOUTH**  
SCALE: 1/8" = 1'-0"  
**1S**  
A203



**COURTYARD ELEVATION - WEST**  
SCALE: 1/8" = 1'-0"  
**1W**  
A203



**COURTYARD ELEVATION - NORTH**  
SCALE: 1/8" = 1'-0"  
**1N**  
A203

**ELEVATIONS KEYNOTES**

- 6.1) TYPE IIA CONSTRUCTION: 1 HOUR ROOF & CEILING ASSEMBLY: SEE ROOF DETAILS A170
- 7.1) THREE-COAT EXTERIOR CEMENT PLASTER. SEE SHEET A770
- 7.2) EXTERIOR CEMENT PLASTER HORIZONTAL AND VERTICAL CONTROL JOINT. SEE DETAIL 11A770
- 7.3) TWO-PIECE CONTROL JOINT. SEE DETAIL 10A770
- 7.4) TWO-PIECE CONTROL JOINT AT POOLIUM LEVEL. SEE DETAIL 11A771
- 7.5) DRIP-SCREED AT ALL SOFFITS. SEE DETAIL 4A771
- 7.6) CONTINUOUS STUCCO WEEP-SCREED AT BASE OF BUILDING. SEE DETAIL 5A770
- 7.7) HORIZONTAL DRIFT JOINT
- 7.8) VERTICAL DRIFT JOINT
- 7.9) TWO-COAT EXTERIOR CEMENT PLASTER OVER CONCRETE BLOCK OR CONCRETE
- 7.10) 42" MINIMUM HIGH METAL GUARDRAIL AT EXIT CORRIDOR, SET TOP RAIL LEVEL. SEE DETAILS 9A & 4A810
- 7.11) FLUSH VINYL WINDOW. SEE DETAIL 9A780
- 7.12) RECESS VINYL WINDOW. SEE DETAIL 9A780
- 7.13) ROOF SCUPPER WITH DOWNSPOUT. SEE DETAIL 13A790
- 7.14) ROOF OVERFLOW SCUPPER. SEE DETAIL 14A790
- 7.15) BALCONY OVERFLOW SCUPPER SET 1" ABOVE DECK DRAIN OR 1/4" BELOW THE FINISH FLOOR, WHICHEVER IS LOWER. SEE DETAIL 15A740
- 7.16) OVERHEAD HIGH SPEED VEHICULAR GRILLE. SEE DETAIL 8A802
- 7.17) TILT-UP VEHICULAR GATE. SEE DETAIL 5A702
- 7.18) ROLL-UP OVERHEAD DOOR. SEE DETAIL 7A702
- 7.19) GARAGE METAL RAILING
- 7.20) AWNING. SEE DETAIL 10A813
- 7.21) EXTERIOR MECHANICAL VENT. COLOR TO MATCH THE ADJACENT FACADE. SEE MECHANICAL DRAWINGS. SEE DETAIL 5A761 AND 11A701 FOR CU/METAL STUD WALL
- 7.22) UNIT VENT: VENT TO BE 2 MIN. AWAY FROM ANY OPENING ON BUILDING FACADE. PAINT COLOR TO MATCH ADJACENT FACADE. SEE MECHANICAL DRAWINGS. FACADE DETAIL. SEE 15A771
- 7.23) SEISMIC JOINT. SEE SHEETS A737, A738 AND A739
- 7.24) EXTERIOR LIGHTING FIXTURE. SEE ELEC. DRAWINGS
- 7.25) ALUMINUM SHEET: 120" THK. HIGH PERFORMANCE COATING MATCHING LOWER, 7'-10" BLANK OFF FOR EXHAUST. COORDINATE LOCATION WITH MECH.

**ELEVATION GENERAL NOTES**

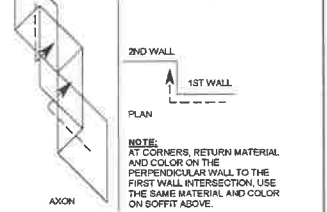
- 1. FOR ADDITIONAL FLASHING & PENETRATION DETAILS, SEE SHEETS A774, A774A, A801 & A802
- 2. HORIZONTAL DRIFT JOINTS (HJD) OCCUR WHERE EXTERIOR NON-CAB BEARING WALLS OR WINDOW HEADS ABUT THE UNDERSIDE OF CONCRETE SLABS/DRIP PANELS.
- 3. VERTICAL DRIFT JOINTS (VDJ) OCCUR WHERE METAL STUDS OR WINDOW JAMBS ABUT CONCRETE WALLS OR COLUMNS.
- 4. PROVIDE 1/2" MIN. FOR VERTICAL DRIFT
- 5. PROVIDE VERTICAL TRACK WITH BOISED STUD JAMB WHERE VINYL OR NON-FULL HEIGHT STOREFRONT WINDOWS ABUT CONCRETE WALLS OR COLUMNS
- 6. PROVIDE DRIFT JOINTS WHERE FULL-HEIGHT STOREFRONT WINDOWS ABUT CONCRETE WALLS OR COLUMNS. WINDOWS SHALL CONTAIN BUILT-IN BUS-FRAME COMPENSATE CHANNELS AT HEAD AND JAMBS FOR HORIZONTAL AND VERTICAL DRIFTS
- 7. SEE SHEET 0309 FOR AVERAGE GRADE PLANE CALCS
- 8. OUTDOOR LIGHTING SYSTEMS SHALL BE DESIGNED AND COMPLY WITH REQUIREMENTS REFERENCED ON GRN FORMS.
- 9. PROVIDE ANTI-RAPHAFT FINISH AT THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS.

**MATERIAL SCHEDULE**

FOR MORE INFORMATION SEE A821

MARK	COMPONENT	COLOR
A0	EXTERIOR CEMENT PLASTER	
A1	EXTERIOR CEMENT PLASTER	SW751 GREEK VANILLA
A2	EXTERIOR CEMENT PLASTER	SHERWIN WILLIAMS - COLOR 1
A3	EXTERIOR CEMENT PLASTER	SHERWIN WILLIAMS - COLOR 2
B1	FIBER CEMENT SIDING	HF1/AS10 CAPPUCCINO
D1	VINYL WINDOW	VISION GLASS / GREY TRIM
E1	ALUMINUM STOREFRONT	VISION GLASS / GREY ALUMINUM
L1	GLAZING	
H1	SPRINT CONCRETE EDGE	SHERWIN WILLIAMS - BLACK
LI	METAL LOWERS	WHITE ADJUST SURFACE COLOR
M1	ALUMINUM COMPOSITE MATERIAL	DUSTY CHARCOAL II
M2	METAL COLUMN COVER	SLATE GRAY
R1	ALUMINUM PANEL (DECORATIVE RAILING PROTECTION)	BLACK
R2	STAINLESS STEEL RAILING	PPG PAINTING GUIDE
R3	PAINTED METAL CSM RAILING	BLACK

FOR FINISHING OF SECTION ONE SEE OWNER'S ARCHITECT FOR COLOR BOARDS



**AC MARTIN**  
190 WILSHIRE BOULEVARD SUITE 2810  
LOS ANGELES CA 90017 1 213 483 1902

project number: 2307027  
project director:  
project designer:  
project architect:

revision table with columns for no., date, and revision.

project status: **PLAN CHECK SUBMITTAL #2**  
12/10/25

project key plan: W COURTYARD ST



check / project:

**21320 OXNARD ST. WARNER CENTER - PHASE 2**

META DEVELOPMENT, LLC  
11150 W OLYMPIC BLVD,  
SUITE 620,  
LOS ANGELES, CA 90064

sheet name: **COURTYARD ELEVATIONS**  
sheet number: **A203**

print date: 12/10/2025 4 01:12 PM

**REVISED**  
11:21 am, Feb 17, 2026

**EXHIBIT "A"**  
Page No. 43 of 57  
Case No. ADM-2023-6353-DB-SPP-HCA-E01

AutoCAD Date: 12/10/2025 21:30:00 Owner: Phase 2 MET-Courtyard Phase 2 - ARCH - REV-04







**BUILDING SECTION 2**  
SCALE: 3/32" = 1'-0"

2  
A301



**BUILDING SECTION @ PARKING RAMP**  
SCALE: 3/32" = 1'-0"

1  
A301

**KEYNOTES**

- 6.9 SLAB-ON-GRADE AT PARKING STALLS. SEE DETAIL SA701
- 6.13 TYPE III-A CONSTRUCTION: 1 HOUR ROOF & CEILING ASSEMBLY. SEE ROOF DETAILS A700



**AC MARTIN**  
100 WILSHIRE BOULEVARD, SUITE 2800  
LOS ANGELES, CA 90017 T 213 483 1180

**REVISED**  
11:22 am, Feb 17, 2026

**EXHIBIT "A"**  
Page No. 46 of 57  
Case No. ADM-2023-6353-DB-SPP-HCA-ED1

**GENERAL NOTES**

- UNLESS OTHERWISE NOTED INTERIOR NON-BEARING WALLS ARE NON-RATED
- SEE A100 AND A300 SERIES FOR EXTERIOR BEARING AND FIRE RATING DESIGNATIONS

**WALL TYPE LEGEND**

**2-HOUR FIRE BARRIER**  
**3-HOUR FIRE WALL**  
**CONCRETE WALL**  
**CMU WALL**  
**WOOD STUD PARTITION (1-HOUR OR NON-RATED AS INDICATED ON PLANS)**  
**STEEL STUD PARTITION (1-HOUR OR NON-RATED AS INDICATED ON PLANS)**

**FIRE RATING**  
0 = NON RATED  
1 = ONE HOUR RATED  
2 = TWO HOUR RATED  
3 = THREE HOUR RATED  
4 = FOUR HOUR RATED

**WALL MATERIAL**  
W = WOOD STUD - SEE A710  
S = STEEL STUD - SEE A717  
M = CMU - SEE 12A712  
C = CONCRETE - SEE 12A712  
FW = FIRE WALL - SEE A716

DETAIL NUMBER ON REFERENCED SHEET

project number 2307027  
project director  
project designer  
project architect

revision	no.	date	revision
	000005		DESIGN DEVELOPMENT
	12/10/25		PLAN CHECK SUBMITTAL #1
	12/10/25		PLAN CHECK SUBMITTAL #2

project status  
**PLAN CHECK SUBMITTAL #2**  
12/10/25

project key plan: W OXNARD ST



**21320 OXNARD ST. WARNER CENTER - PHASE 2**

META DEVELOPMENT, LLC  
11150 W OLYMPIC BLVD, SUITE 620,  
LOS ANGELES, CA 90064

**BUILDING SECTIONS**

sheet number  
**A301**

plot date 12/10/2025 3:34:22 PM

AutoCAD Doc: 12/20/2025 2:10:00 - Oxnard Phase 2\META-Centered Phase 2\A301.dwg

**KEYNOTES**

- 6.9 SLAB-ON-GRADE AT PARKING STALLS. SEE DETAIL S1A/D1
- 6.13 TYPE I(A) CONSTRUCTION- 1 HOUR ROOF & CEILING ASSEMBLY. SEE ROOF DETAILS A706



**ACMARTIN**  
 700 WILSHIRE BOULEVARD SUITE 2800  
 LOS ANGELES CA 90017 1 213 682 1100

**REVISED**  
 11:22 am, Feb 17, 2026

**EXHIBIT "A"**  
 Page No. 47 of 57  
 Case No. ADM-2023-6353-DB-SPP-HCA-ED1

**GENERAL NOTES**

1. UNLESS OTHERWISE NOTED INTERIOR NON-BEARING WALLS ARE NON-RATED
2. SEE A100 AND A300 SERIES FOR EXTERIOR BEARING AND FIRE RATING DESIGNATIONS

**WALL TYPE LEGEND**

	<b>FIRE RATING</b>
	0 = NON RATED
	1 = ONE HOUR RATED
	2 = TWO HOUR RATED
	3 = THREE HOUR RATED
	4 = FOUR HOUR RATED

**WALL MATERIAL**  
 W = WOOD STUD - SEE A710  
 S = STEEL STUD - SEE A717  
 M = CMU - SEE 12A712  
 C = CONCRETE - SEE 12A713  
 FW = FIRE WALL - SEE A710

**WOOD STUD PARTITION**  
 (1-HOUR OR NON-RATED AS INDICATED ON PLANS)

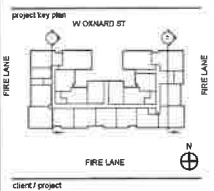
**STEEL STUD PARTITION**  
 (1-HOUR OR NON-RATED AS INDICATED ON PLANS)

DETAIL NUMBER ON REFERENCED SHEET

project number 2307027  
 project creator  
 project designer  
 project architect

revision	date	revision
09/06/25		DESIGN DEVELOPMENT
12/02/25		PLAN CHECK SUBMITTAL #1
12/10/25		PLAN CHECK SUBMITTAL #2

project status  
**PLAN CHECK SUBMITTAL #2**  
 12/10/25

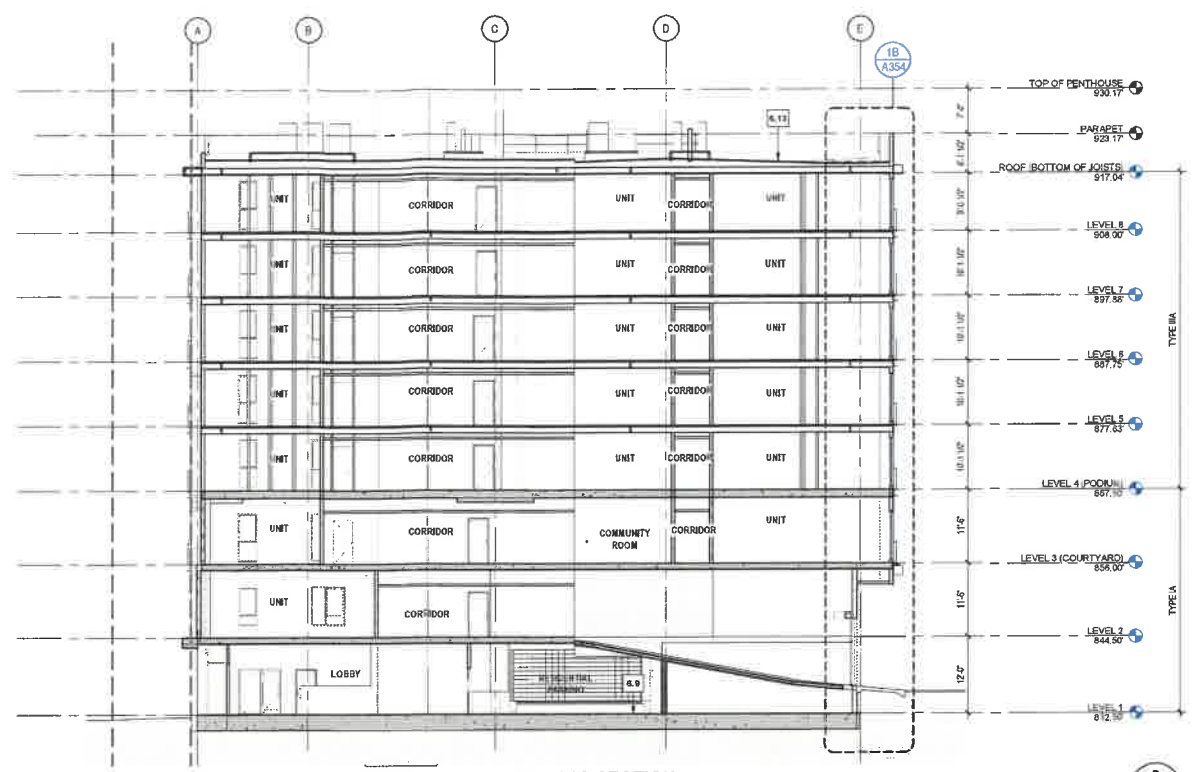


**21320 OXNARD ST. WARNER CENTER - PHASE 2**  
 META DEVELOPMENT, LLC  
 11150 W OLYMPIC BLVD,  
 SUITE 620,  
 LOS ANGELES, CA 90064

**BUILDING SECTIONS**  
 sheet number

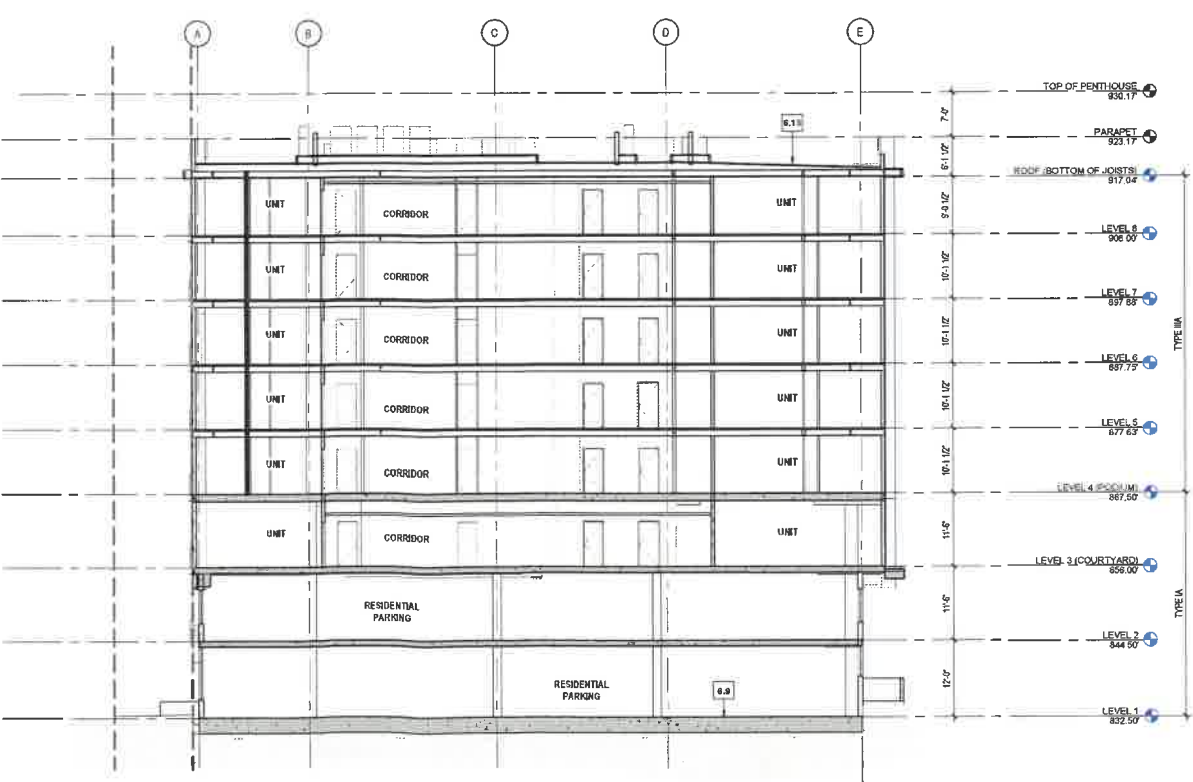
**A302**

print date 12/10/2025 3:35:29 PM



**BUILDING SECTION 4**  
 SCALE 3/32" = 1'-0"

2  
 A302



**BUILDING SECTION 3**  
 SCALE 3/32" = 1'-0"

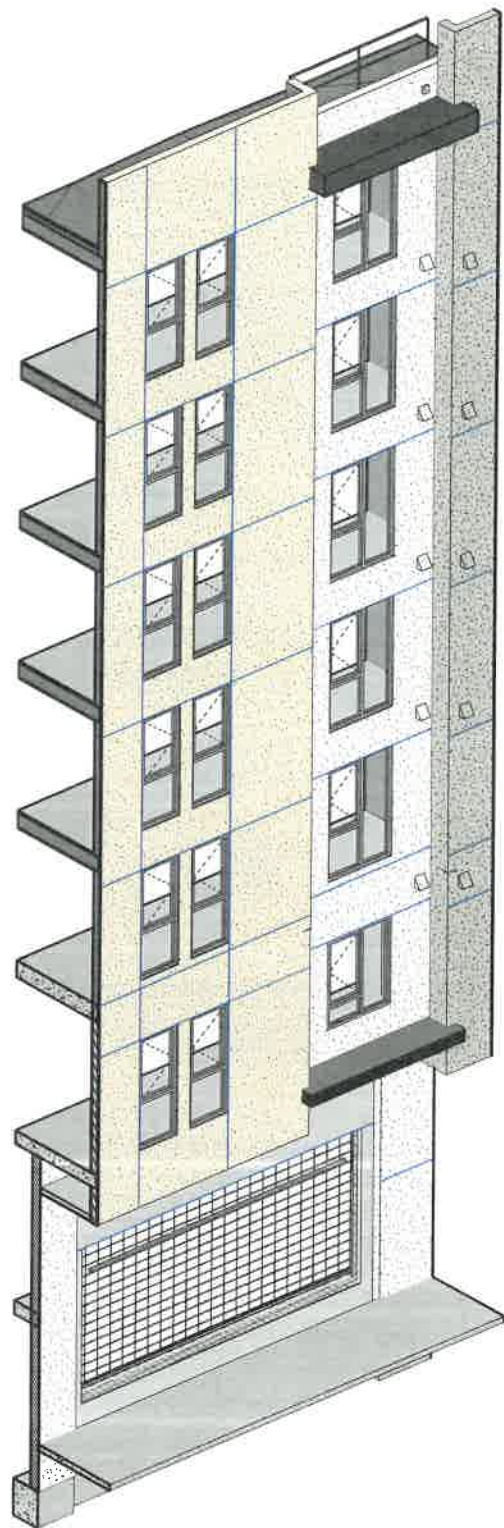
1  
 A302











AXON 1C/A354  
SCALE

1C  
A354

WALL SECTION  
SCALE: 1/4" = 1'-0"

1B  
A354

WALL SECTION  
SCALE: 1/4" = 1'-0"

1A  
A354

ENLARGED ELEVATION  
SCALE: 1/4" = 1'-0"

1  
A354

KEYNOTES

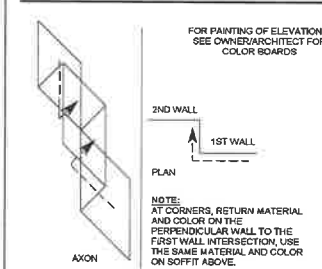
ELEVATION GENERAL NOTES

- FOR ADDITIONAL FLASHING & PENETRATION DETAILS, SEE SHEETS A774, A774, A880, A891 & A892
- HORIZONTAL DRIFT JOINTS (VDJ) OCCUR WHERE EXTERIOR NON-LOAD BEARING WALLS OR WINDOW HEADS ABUT THE UNDERSIDE OF CONCRETE SLAB/DRIP PANELS.
- VERTICAL DRIFT JOINTS (VDJ) OCCUR WHERE METAL STUD OR WINDOW JAMBS ABUT CONCRETE WALLS OR COLUMNS.
- PROVIDE 1/2" MIN. FOR VERTICAL DRIFT.
- PROVIDE VDU/S/P TRACK WITH BOXED STUD JAMB WHEN VINYL OR NON-FULL HEIGHT STOREFRONT WINDOWS ABUT CONCRETE WALLS OR COLUMNS. WINDOW SHALL CONTAIN BUILT-IN SUB-FRAME COMPENSATE CHANNELS AT HEAD AND JAMBS FOR HORIZONTAL AND VERTICAL DRIFTS.
- SEE SHEET 0209 FOR AVERAGE GRADE PLANE CALCS.
- OUTDOOR LIGHTING SYSTEMS SHALL BE DESIGNED AND COMPLY WITH REQUIREMENTS REFERENCED ON GRN FORMATS.
- PROVIDE ANTI-GRAFFITI FINISH AT THE FIRST 6 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS.

GENERAL NOTES

- UNLESS OTHERWISE NOTED INTERIOR NON-BEARING WALLS ARE NON-RATED
- SEE A100 AND A100 SERIES FOR EXTERIOR BEARING AND FIRE RATING DESIGNATIONS

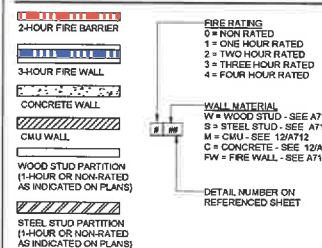
PAINTING GUIDE



WALL SECTION GENERAL NOTES

- ALL EXTERIOR WALLS OF TYPE II CONSTRUCTION TO BE FRAMED WITH FIRE RETARDANT WOOD INCLUDING STUDS, BLOCKS, PLATE SHEATHING, SHEAR PANELS & FIRST LAYER OF FLOOR SHEATHING ADJACENT TO EXTERIOR WALL. ALL LUMBER PENETRATING EXTERIOR WALLS TO BE FIRE RETARDANT WOOD. SEE 16A70 FOR MORE INFORMATION.

WALL TYPE LEGEND



AC MARTIN  
1100 WILSHIRE BOULEVARD, SUITE 2000  
LOS ANGELES CA 90017 T 213 485 1900

REVISED  
11:23 am, Feb 17, 2026

EXHIBIT "A"  
Page No. 52 of 57  
Case No. ADM-2023-4353-DB-SPP-HCA-ED1

project number 2307027  
project director  
project designer  
project architect

no.	date	revision
00/00/25		DESIGN DEVELOPMENT
12/09/25		PLAN CHECK SUBMITTAL #1
12/10/25		PLAN CHECK SUBMITTAL #2

PLAN CHECK SUBMITTAL #2  
12/10/25

project key plan W OXNARD ST



21320 OXNARD ST. WARNER CENTER - PHASE 2  
META DEVELOPMENT, LLC  
11150 W OLYMPIC BLVD, SUITE 620, LOS ANGELES, CA 90064

WALL SECTIONS  
sheet name  
**A354**

sheet date 12/10/2025 3:30:50 PM

Absolute Cover (2/20/2025) 2:30:00 Coverd Phase 2/META-Coverd Phase 1 | ARCD - 1/24 - v1



**KEYNOTES**

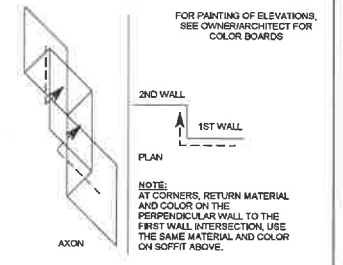
**ELEVATION GENERAL NOTES**

- FOR ADDITIONAL FLASHING & PENETRATION DETAILS, SEE SHEETS A774, A775, A800, A801 & A802.
- HORIZONTAL DRIFT JOINTS (HJ) OCCUR WHERE EXTERIOR NON-LOAD BEARING WALLS OR WINDOW HEADS ABUT THE UNDERSIDE OF CONCRETE SLAB/ROOF PANELS.
- VERTICAL DRIFT JOINTS (VJ) OCCUR WHERE METAL STUDS OR WINDOW JAMBS ABUT CONCRETE WALLS OR COLUMNS.
- PROVIDE 1/2" MIN. FOR VERTICAL DRIFT.
- PROVIDE DOWELBAR TRACK WITH BOXED STUD JAMB WHERE VINYL OR NON-FULL HEIGHT STOREFRONT WINDOWS ABUT CONCRETE WALLS OR COLUMNS.
- PROVIDE DRIFT JOINTS WHERE FULL-HEIGHT STOREFRONT WINDOWS ABUT CONCRETE WALLS OR COLUMNS. WINDOWS SHALL CONTAIN BUILT-IN SUB-FRAME COMPENSATE CHANNELS AT HEAD AND JAMB FOR HORIZONTAL AND VERTICAL DRIFTS.
- SEE SHEET 0209 FOR AVERAGE GRADE PLANE CALLS.
- OUTDOOR LIGHTING SYSTEMS SHALL BE DESIGNED AND COMPLY WITH REQUIREMENTS REFERENCED ON GRN FORMS.
- PROVIDE ANTI-GRAFFITI FINISH AT THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS.

**GENERAL NOTES**

- UNLESS OTHERWISE NOTED INTERIOR NON-BEARING WALLS ARE NON-RATED.
- SEE A100 AND A300 SERIES FOR EXTERIOR BEARING AND FIRE RATING DESIGNATIONS.

**PAINTING GUIDE**



**WALL SECTION GENERAL NOTES**

- ALL EXTERIOR WALLS OF TYPE III CONSTRUCTION TO BE FRAMED WITH FIRE RETARDANT WOOD INCLUDING STUDS, BLOCKS, PLATE BACKING, SHEAR PANELS & FIRST LAYER OF FLOOR SHEATHING ADJACENT TO EXTERIOR WALL. ALL LUMBER PENETRATING EXTERIOR WALLS TO BE FIRE RETARDANT WOOD. SEE 19A720 FOR MORE INFORMATION.

**WALL TYPE LEGEND**

WALL TYPE	FIRE RATING	WALL MATERIAL
2-HOUR FIRE BARRIER	2	W = WOOD STUD - SEE A710
3-HOUR FIRE WALL	3	S = STEEL STUD - SEE A717
CONCRETE WALL	4	M = CMU - SEE 12A712
CMU WALL	4	C = CONCRETE - SEE 12A712
WOOD STUD PARTITION (1-HOUR OR NON-RATED AS INDICATED ON PLANS)	0	FW = FIRE WALL - SEE A716
STEEL STUD PARTITION (1-HOUR OR NON-RATED AS INDICATED ON PLANS)	0	



**AC MARTIN**  
 180 WILSHIRE BOULEVARD, SUITE 2800  
 LOS ANGELES, CA 90017

**REVISED**  
 11:23 am, Feb 17, 2026

**EXHIBIT "A"**  
 Page No. 54 of 57  
 Case No. ADM-2023-6353-09-SPP-HCA-ED1

project number: 2307027  
 project director:  
 project designer:  
 project architect:

no.	date	revision
09/06/25		DESIGN DEVELOPMENT
12/06/25		PLAN CHECK SUBMITTAL #1
12/06/25		PLAN CHECK SUBMITTAL #2

PLAN CHECK SUBMITTAL #2  
 12/10/25

project site: W OXNARD ST



**21320 OXNARD ST. WARNER CENTER - PHASE 2**

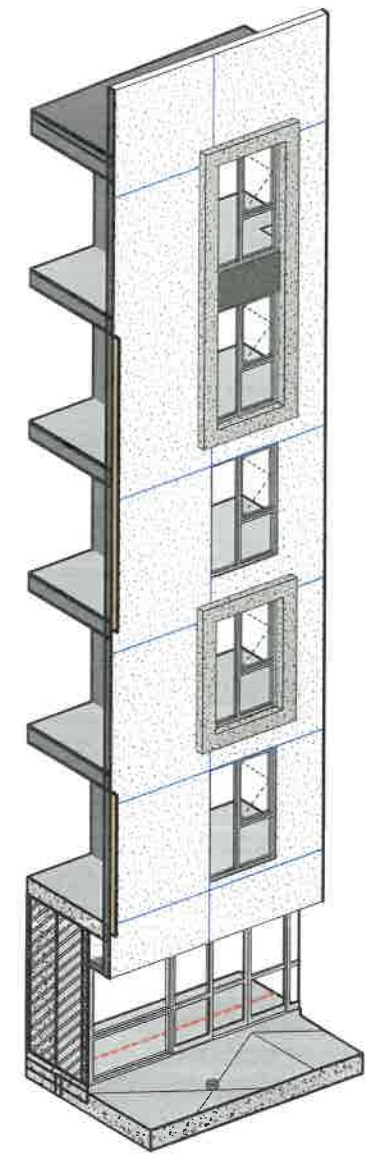
META DEVELOPMENT, LLC  
 11150 W OLYMPIC BLVD, SUITE 620,  
 LOS ANGELES, CA 90064

sheet name:

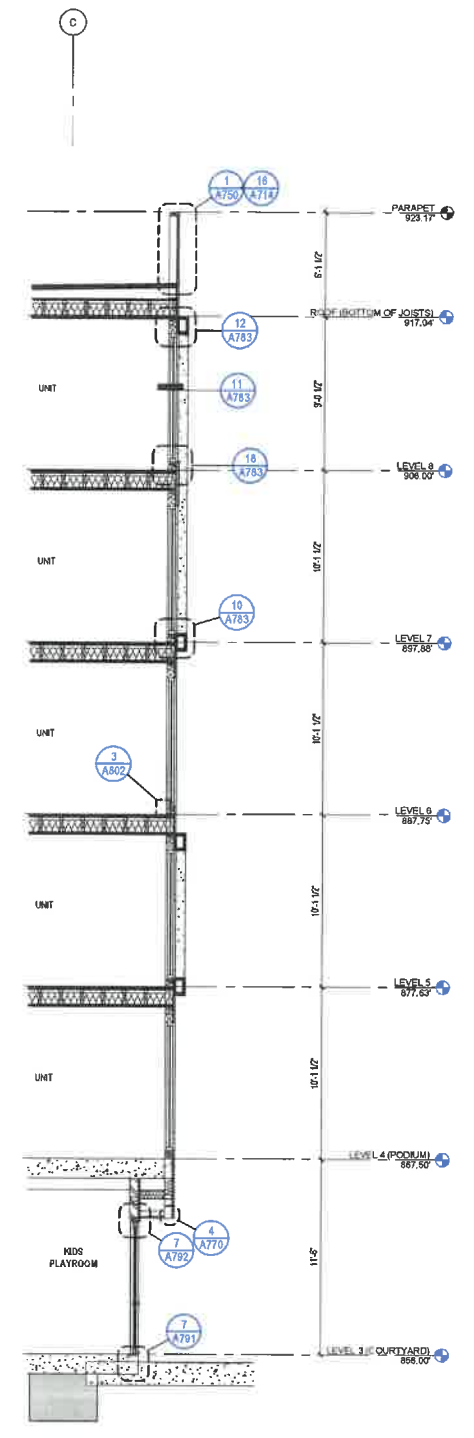
**WALL SECTIONS**

sheet number:  
**A356**

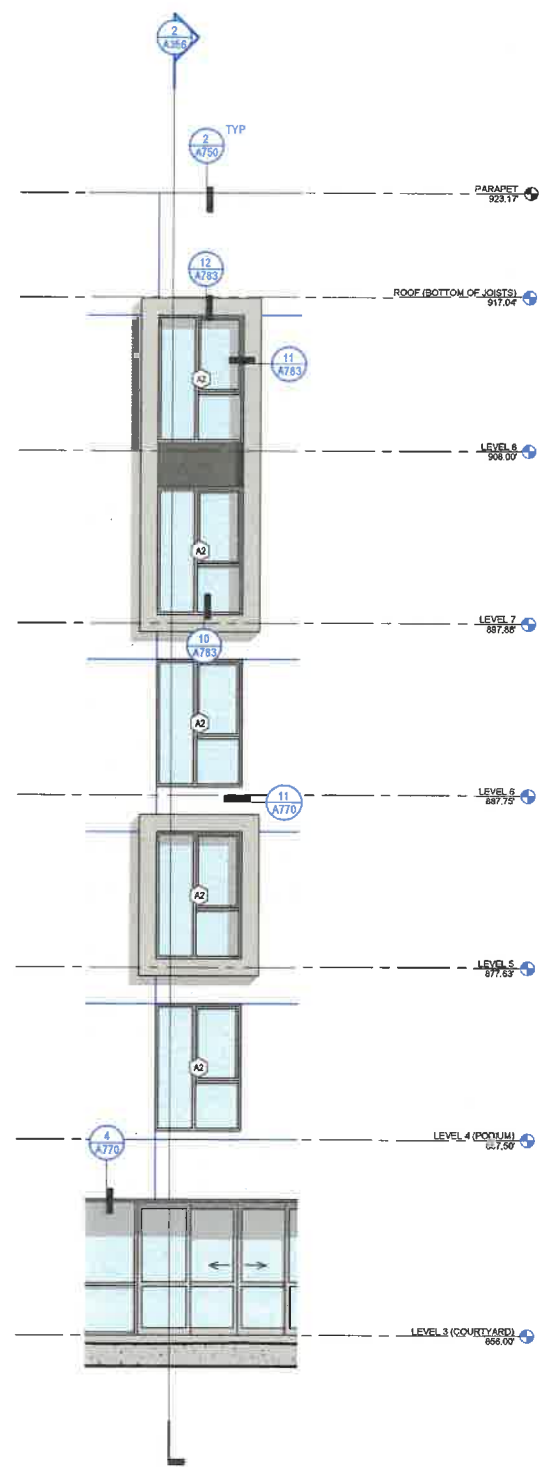
plot date: 12/10/2025 3:41:33 PM



**AXONOMETRIC VIEW**  
 SCALE:  
 3  
 A356



**WALL SECTION**  
 SCALE: 1/4" = 1'-0"  
 2  
 A356



**ENLARGED ELEVATION**  
 SCALE: 1/4" = 1'-0"  
 1  
 A356

Autodesk Cloud/2/20/2027 2:00:07 PM/META-Cloud/Phase II\_ARCH/124141



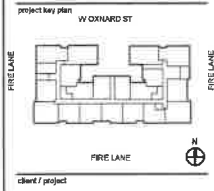
**AC MARTIN**  
 100 WILSHIRE BOULEVARD SUITE 2800  
 LOS ANGELES CA 90017 713 493 1908

**REVISED**  
 11:23 am, Feb 17, 2026

**EXHIBIT "A"**  
 Page No. 5 of 5  
 Case No. ADM-2023-0353-08-SPP-HCA-E21

no.	date	revision
05/20/25		DESIGN DEVELOPMENT
10/22/25		PLAN CHECK SUBMITTAL
12/10/25		PLAN CHECK SUBMITTAL #2

PLAN CHECK SUBMITTAL #2  
 12/10/25



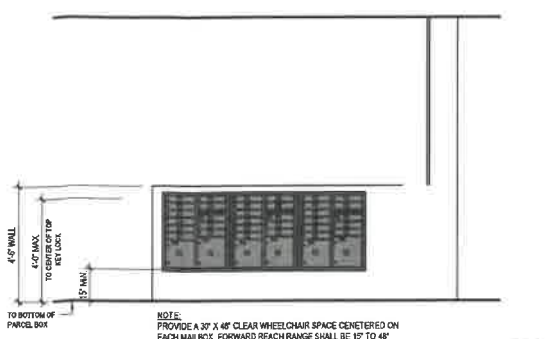
**21320 OXNARD ST. WARNER CENTER - PHASE 2**  
 META DEVELOPMENT, LLC  
 11150 W OLYMPIC BLVD, SUITE 620,  
 LOS ANGELES, CA 90064

**ENLARGED COMMON AREAS ON LEVEL 1**

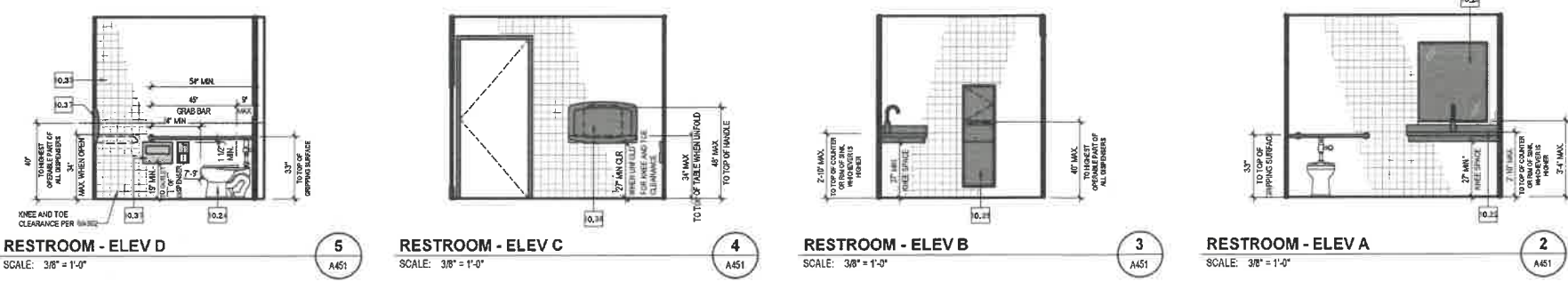
**A451**

**KEYNOTES**

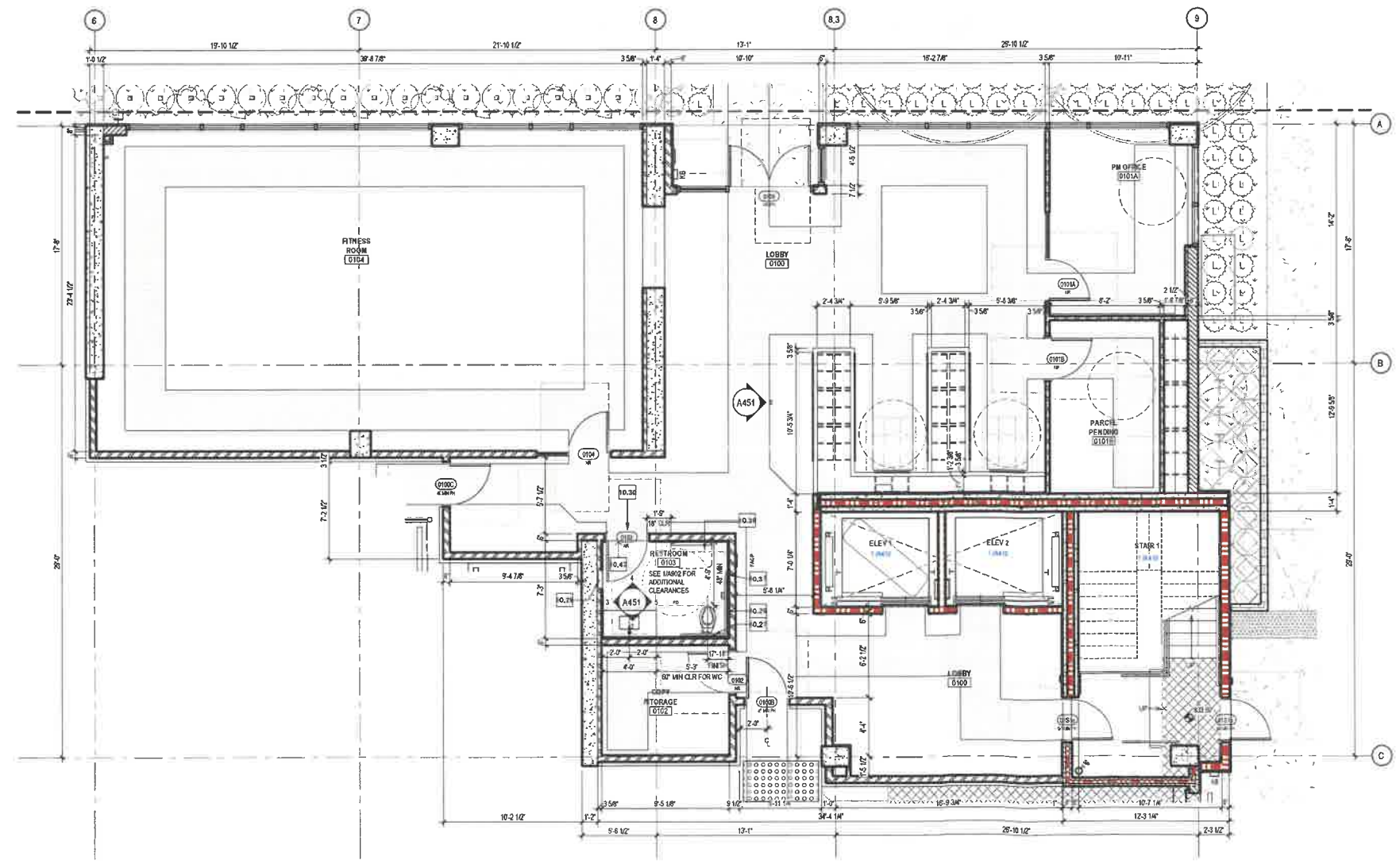
- 10.22 PULLMAN COUNTER WITH LAVATORY, 34" MAX. TO TOP OF COUNTER OR RIM OF SINK, WHICHEVER IS HIGHER, WITH 30" MIN. WIDE X 20" MIN. HIGH CLEAR KNEE SPACE. SEE DETAILS 1A804 & 1A902
- 10.24 ACCESSIBLE TOILET. SEE DETAILS 1-3A902
- 10.25 MIRROR: 42" HIGH, COUNTER 38" A.F.F., 48" MAX. A.F.F. TO REFLECTIVE SURFACE. SEE DETAIL 1A902 & 1A904
- 10.27 36" MIN. REAR WALL GRAB BAR, 33" 30" A.F.F.; PROVIDE 24" MIN. BACKING. SEE DETAILS 1, 2 & 3A902, 17A717 FOR METAL BACKING.
- 10.28 42" MIN. SIDE WALL GRAB BAR, 37" 38" A.F.F.; PROVIDE 24" MIN. BACKING. SEE DETAILS 1, 2 & 3A902, 17A717 FOR METAL BACKING.
- 10.29 TOWEL DISPENSER & WASTE BIN, 48" MAX. A.F.F. TO TOWEL SLOT OR TOP OF WASTE BIN. SEE DETAIL 1A902
- 10.30 SIGNAGE AT RESTROOM DOOR PER DETAILS 5 & 5A903
- 10.33 48" HIGH MINIMUM TILE WAINSCOT AT ALL WALLS. SEE ID DRAWINGS FOR DESIGN
- 10.37 SEAT COVER DISPENSER: 42" MAX. TO TOP OF SLOT. DO NOT LOCATED BEHIND GRAB BARS
- 10.38 BABY CHANGING TABLE: 4" MAX. PROJECTION FROM WALL WHEN NOT IN USE.
- 10.42 TILE FLOOR: MAXIMUM 1/2" HIGH TRANSITION TO OTHER FLOOR MATERIALS. SEE DETAIL 15A902



**MAILBOXES**  
 SCALE: 3/8" = 1'-0"



**RESTROOM - ELEV D** SCALE: 3/8" = 1'-0"  
**RESTROOM - ELEV C** SCALE: 3/8" = 1'-0"  
**RESTROOM - ELEV B** SCALE: 3/8" = 1'-0"  
**RESTROOM - ELEV A** SCALE: 3/8" = 1'-0"  
**RESTROOM - ELEV 2** SCALE: 3/8" = 1'-0"

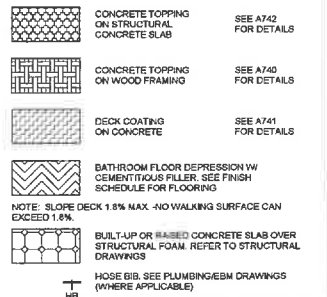


**LOBBY, FITNESS ROOM @ LEVEL 1**  
 SCALE: 1/4" = 1'-0"

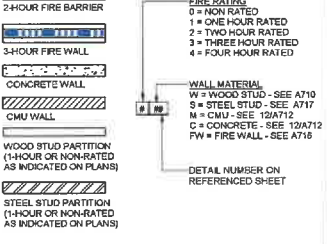
**ENLARGED PLAN NOTES**

1. PROVIDE ILLUMINATED EXIT SIGNS IN ALL INTERIOR EXIT CORRIDORS IN GROUP A & B-2 OCCUPANCIES PER CBC SECTION 1011.
2. PROVIDE ONE FIRE EXTINGUISHER WITH A MINIMUM RATING OF 2A 10BC WITH A MAXIMUM TRAVEL DISTANCE OF 75' TO ALL OCCUPIED PORTIONS OF BUILDING. SEE DETAIL 2 & 3A902.
3. ALL EXTERIOR WALLS OF TYPE III CONSTRUCTION TO BE FRAMED WITH FIRE RETARDANT WOOD INCLUDING STUDS, BLOCKS, PLATE BACKING, SHEAR PANELS & FIRST LAYER OF FLOOR SHEATHING ADJACENT TO EXTERIOR WALL. ALL LINERS PENETRATING EXTERIOR WALLS TO BE FIRE RETARDANT WOOD. SEE 8A714 FOR MORE INFORMATION.
4. FOR ACCESSIBLE ENTRY DETAILS. SEE DETAIL 1A902
5. FOR FLASHING AND PENETRATION DETAILS. SEE SHEET A73.
6. ALL OPENINGS IN FIRE WALLS SHALL BE PROTECTED WITH SELF-CLOSING FIRE ASSEMBLIES HAVING A FIRE RESISTANCE RATING OF 3 HOURS.
7. DUCTS AND AIR TRANSFER OPENINGS THROUGH FIRE WALLS SHOULD BE AVOIDED. IF ALLOWED, DUCT AND AIR TRANSFER OPENING PENETRATIONS SHALL BE PROTECTED AS REQUIRED BY SECTIONS 714 AND 717. DAMPERS WITH A 3 HOUR RATING ARE REQUIRED.
8. FOR ACCESSIBLE CLEARANCES AND SIGNAGE REFER TO DETAILS ON A902-A903
9. TWO-WAY RADIO COMMUNICATION SYSTEM TO BE PROVIDED PER LAFD 510. SEE DETAIL 11 & 15A903
10. AT LOCATIONS WHERE THE WALL ASSEMBLY NO LONGER REQUIRES A SHEAR PANEL ON STRUCTURAL PLANS, MAINTAIN ASSEMBLY THICKNESS & ACOUSTIC VALUE BY CONTINUOUS WOOD SHEATHING OR A 5/8" LAYER OF GYPSUM BOARD CAN REPLACE A LAYER OF WOOD SHEATHING OF SIMILAR THICKNESS.

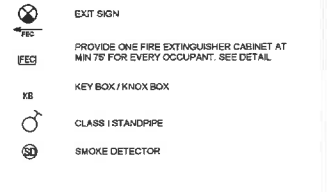
**WALKING SURFACE LEGEND**



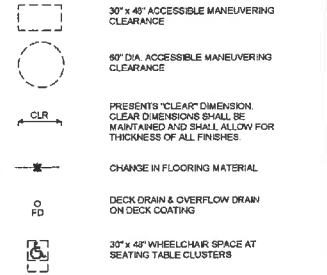
**WALL TYPE LEGEND**



**FIRE LEGEND**



**LEGEND**



AutoCAD Color #2307027 21300 Owner: Please See META-Oxnard Phase 1, ARCD\_024.rvt





**CITY OF LOS ANGELES**  
INTER-DEPARTMENTAL CORRESPONDENCE

DATE of Distribution: 1/30/2026

TO: Subdivision Committee Members

FROM: Department of City Planning, **EXPEDITED** Processing Section

SUBJECT: **Subdivision Filing Notification and Distribution – Parcel Map**

**Case Number:** AA-2026-140-PM

**Map Type:** TRACT MAP

**Map Stamp Date:** 10/20/2025

**Community Plan:** CANOGA PARK WINNETKA-  
WOODLAND HILLS- WEST HILLS.

**Application Filing Date:** 1/13/2026

**Project Address** 21300 W OXNARD ST 1-173

**NC:** Woodland hills- warner Center

**Hillside:** No

- 
- |  |  |
|--|--|
| <input checked="" type="checkbox"/> Council District: <b>3</b>                         | <input checked="" type="checkbox"/> LAFD – Engineering/Hydrant Unit            |
| <input checked="" type="checkbox"/> Neighborhood Council (NC) ( <b>NO</b> SB9, SB 684) | <input checked="" type="checkbox"/> Bureau of Street Lighting ( <b>No</b> SB9) |
| <input checked="" type="checkbox"/> Bureau of Engineering                              | <input checked="" type="checkbox"/> Department of Recreation and Parks         |
| <input checked="" type="checkbox"/> Dept of Building and Safety - Grading              | <input checked="" type="checkbox"/> Bureau of Sanitation                       |
| <input checked="" type="checkbox"/> Dept of Building and Safety - Zoning               | <input checked="" type="checkbox"/> LAUSD CEQA (No P.S.)                       |
| <input checked="" type="checkbox"/> DWP Real Estate                                    | <input checked="" type="checkbox"/> LAUSD Transportation (No P.S.)             |
| <input checked="" type="checkbox"/> DWP Water Distribution Engineering                 | <input checked="" type="checkbox"/> County Health Department (No. P.S.)        |
| <input checked="" type="checkbox"/> Urban Forestry Land Development                    | <input checked="" type="checkbox"/> GIS  |
| <input checked="" type="checkbox"/> Office of Historic Resources                       | <input checked="" type="checkbox"/> LADOT Dev Review - Valley                  |
| <input checked="" type="checkbox"/> Los Angeles Housing Department (No P.S.)           | <input type="checkbox"/> LADOT Dev Review - Citywide                           |

---

**Hillside Projects/Haul Route Projects Only**

**Does case include a Haul Route?**

Yes       No

- BSS – Haul Route Investigation and Enforcement
- Animal Regulation (Hillside Only)

**LADOT District Office**

- Central (CD 1, 9, 14)
- Hollywood (CD 4, 10, 13)
- Western (CD 5, 11)
- East Valley (CD 3, 5, 6, 12)
- Southern (CD 8, 15)

**RECOMMENDATION REPORTS DUE BY: 39 Days (3/10/2026)**

Please send your reports to the following e-mail address: [planning.expedited@lacity.org](mailto:planning.expedited@lacity.org)

Thank you.

Pursuant to Sections 17.50 through 17.60 of the Los Angeles Municipal Code, the attached SB 9 Urban Lot Split/Parcel map/Tract map is submitted for your consideration. The Advisory Agency will await your report and recommendation regarding the above matter for 39 days. If we have not received a written report from you after 40 days from the date of filing, we will assume that you have no report to make.

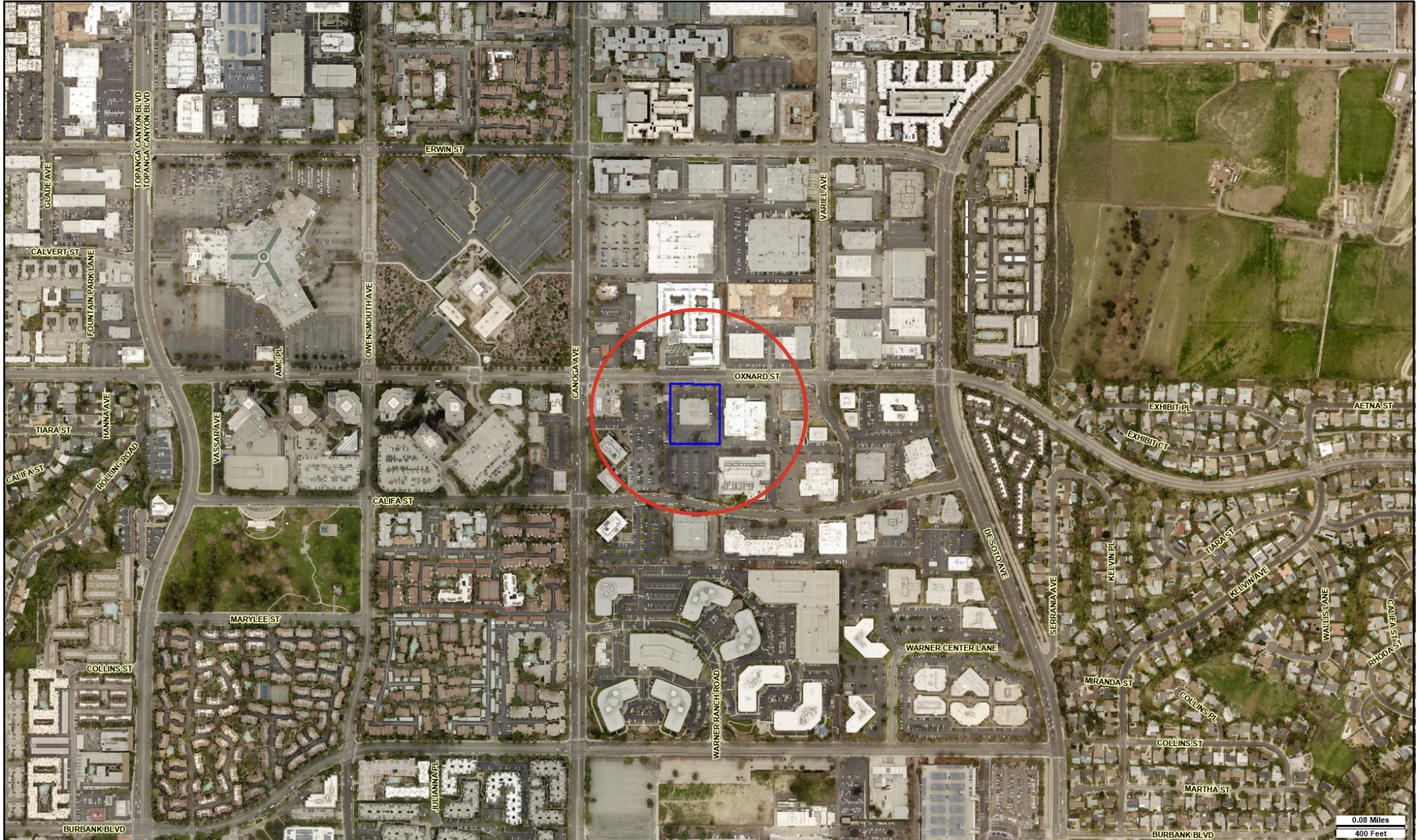
VINCENT P. BERTONI, AICP  
Advisory Agency

**Auston Elledge**

For: Heather Bleemers, Senior City Planner  
Expedited Processing Section  
Deputy Advisory Agency

**EXPEDITED PROCESSING  
SECTION**

[planning.expedited@lacity.org](mailto:planning.expedited@lacity.org)



Address: 21300 1-173 W OXNARD ST

APN: 2149002032

PIN #: 177B105 74

Tract: P M 3752

Block: None

Lot: B

Arb: None









Zoning: (WC)COMMERCE-SN

General Plan: Regional Center Commercial



# LEGEND

## GENERALIZED ZONING

-  OS, GW
-  A, RA
-  RE, RS, R1, RU, RZ, RW1
-  R2, RD, RMP, RW2, R3, RAS, R4, R5, PVSP
-  CR, C1, C1.5, C2, C4, C5, CW, WC, ADP, LASED, CEC, USC, PPSP, MU, NMU
-  CM, MR, CCS, UV, UI, UC, M1, M2, LAX, M3, SL, HJ, HR, NI
-  P, PB
-  PF





## GENERAL PLAN LAND USE

### LAND USE

#### RESIDENTIAL





-  Minimum Residential
-  Very Low / Very Low I Residential
-  Very Low II Residential
-  Low / Low I Residential
-  Low II Residential
-  Low Medium / Low Medium I Residential
-  Low Medium II Residential
-  Medium Residential
-  High Medium Residential
-  High Density Residential
-  Very High Medium Residential

#### COMMERCIAL






-  Limited Commercial
-  Limited Commercial - Mixed Medium Residential
-  Highway Oriented Commercial
-  Highway Oriented and Limited Commercial
-  Highway Oriented Commercial - Mixed Medium Residential
-  Neighborhood Office Commercial
-  Community Commercial
-  Community Commercial - Mixed High Residential
-  Regional Center Commercial

### FRAMEWORK

#### COMMERCIAL

-  Neighborhood Commercial
-  General Commercial
-  Community Commercial
-  Regional Mixed Commercial






#### INDUSTRIAL

-  Commercial Manufacturing
-  Limited Manufacturing
-  Light Manufacturing
-  Heavy Manufacturing
-  Hybrid Industrial




#### PARKING

-  Parking Buffer


#### PORT OF LOS ANGELES

-  General / Bulk Cargo - Non Hazardous (Industrial / Commercial)
-  General / Bulk Cargo - Hazard
-  Commercial Fishing
-  Recreation and Commercial
-  Intermodal Container Transfer Facility Site



#### LOS ANGELES INTERNATIONAL AIRPORT

-  Airport Landside / Airport Landside Support
-  Airport Airside
-  LAX Airport Northside

#### OPEN SPACE / PUBLIC FACILITIES




















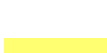





-  Open Space
-  Public / Open Space
-  Public / Quasi-Public Open Space
-  Other Public Open Space
-  Public Facilities

#### INDUSTRIAL

-  Limited Industrial
-  Light Industrial

# CHAPTER 1A LEGEND

## General Plan Designation















	Transit Core		Medium Residential		Agriculture
	Traditional Core		Low Neighborhood Residential		Hybrid Industrial
	Regional Center		Low Medium Residential		Markets
	High Residential		Low Residential		Light Industrial
	Community Center		Compact Residential		Production
	Village		Very Low Residential		Industrial
	Neighborhood Center		Minimum Residential		Open Space
	Medium Neighborhood Residential				Public Facilities
					Public Facilities - Freeways

















## Zone Use Districts

	Open Space		Residential-Mixed		Industrial-Mixed
	Agricultural		Commercial		Public
	Residential Single Family		Commercial-Mixed		Freeway
	Residential Multiple Family		Industrial		






# CIRCULATION

## STREET





































-  Arterial Mountain Road
-  Collector Scenic Street
-  Collector Street
-  Collector Street (Hillside)
-  Collector Street (Modified)
-  Collector Street (Proposed)
-  Country Road
-  Divided Major Highway II
-  Divided Secondary Scenic Highway
-  Local Scenic Road
-  Local Street
-  Major Highway (Modified)
-  Major Highway I
-  Major Highway II
-  Major Highway II (Modified)

-  Major Scenic Highway
-  Major Scenic Highway (Modified)
-  Major Scenic Highway II
-  Mountain Collector Street
-  Park Road
-  Parkway
-  Principal Major Highway
-  Private Street
-  Scenic Divided Major Highway II
-  Scenic Park
-  Scenic Parkway
-  Secondary Highway
-  Secondary Highway (Modified)
-  Secondary Scenic Highway
-  Special Collector Street
-  Super Major Highway

## FREEWAYS

-  Freeway
-  Interchange
-  On-Ramp / Off- Ramp
-  Railroad
-  Scenic Freeway Highway


























## MISC. LINES

-  Airport Boundary
-  Bus Line
-  Coastal Zone Boundary
-  Coastline Boundary
-  Collector Scenic Street (Proposed)
-  Commercial Areas
-  Commercial Center
-  Community Redevelopment Project Area
-  Country Road
-  DWP Power Lines
-  Desirable Open Space
-  Detached Single Family House
-  Endangered Ridgeline
-  Equestrian and/or Hiking Trail
-  Hiking Trail
-  Historical Preservation
-  Horsekeeping Area
-  Local Street
-  MSA Desirable Open Space
-  Major Scenic Controls
-  Multi-Purpose Trail
-  Natural Resource Reserve
-  Park Road
-  Park Road (Proposed)
-  Quasi-Public
-  Rapid Transit Line
-  Residential Planned Development
-  Scenic Highway (Obsolete)
-  Secondary Scenic Controls
-  Secondary Scenic Highway (Proposed)
-  Site Boundary
-  Southern California Edison Power
-  Special Study Area
-  Specific Plan Area
-  Stagecoach Line
-  Wildlife Corridor





# POINTS OF INTEREST

 Alternative Youth Hostel (Proposed)	 Horticultural Center	 Public Elementary School
 Animal Shelter	 Hospital	 Public Elementary School (Proposed)
 Area Library	 Hospital (Proposed)	 Public Golf Course
 Area Library (Proposed)	<b>HW</b> House of Worship	 Public Golf Course (Proposed)
 Bridge	<b>e</b> Important Ecological Area	 Public Housing
 Campground	 Important Ecological Area (Proposed)	 Public Housing (Proposed Expansion)
 Campground (Proposed)	 Interpretive Center (Proposed)	 Public Junior High School
 Cemetery	 Junior College	 Public Junior High School (Proposed)
<b>HW</b> Church	 MTA / Metrolink Station	 Public Middle School
 City Hall	 MTA Station	 Public Senior High School
 Community Center	 MTA Stop	 Public Senior High School (Proposed)
 Community Library	<b>MWD</b> MWD Headquarters	 Pumping Station
 Community Library (Proposed Expansion)	 Maintenance Yard	 Pumping Station (Proposed)
 Community Library (Proposed)	 Municipal Office Building	 Refuse Collection Center
 Community Park	<b>P</b> Municipal Parking lot	 Regional Library
 Community Park (Proposed Expansion)	 Neighborhood Park	 Regional Library (Proposed Expansion)
 Community Park (Proposed)	 Neighborhood Park (Proposed Expansion)	 Regional Library (Proposed)
 Community Transit Center	 Neighborhood Park (Proposed)	 Regional Park
 Convalescent Hospital	 Oil Collection Center	 Regional Park (Proposed)
 Correctional Facility	 Parking Enforcement	<b>RPD</b> Residential Plan Development
 Cultural / Historic Site (Proposed)	 Police Headquarters	 Scenic View Site
 Cultural / Historical Site	 Police Station	 Scenic View Site (Proposed)
 Cultural Arts Center	 Police Station (Proposed Expansion)	 School District Headquarters
<b>DMV</b> DMV Office	 Police Station (Proposed)	 School Unspecified Loc/Type (Proposed)
<b>DWP</b> DWP	 Police Training site	 Skill Center
 DWP Pumping Station	<b>PO</b> Post Office	 Social Services
 Equestrian Center	 Power Distribution Station	 Special Feature
 Fire Department Headquarters	 Power Distribution Station (Proposed)	 Special Recreation (a)
 Fire Station	 Power Receiving Station	 Special School Facility
 Fire Station (Proposed Expansion)	 Power Receiving Station (Proposed)	 Special School Facility (Proposed)
 Fire Station (Proposed)	<b>C</b> Private College	 Steam Plant
 Fire Supply & Maintenance	<b>E</b> Private Elementary School	 Surface Mining
 Fire Training Site	 Private Golf Course	 Trail & Assembly Area
 Fireboat Station	 Private Golf Course (Proposed)	 Trail & Assembly Area (Proposed)
 Health Center / Medical Facility	<b>JH</b> Private Junior High School	<b>UTL</b> Utility Yard
 Helistop	<b>PS</b> Private Pre-School	 Water Tank Reservoir
 Historic Monument	 Private Recreation & Cultural Facility	 Wildlife Migration Corridor
 Historical / Cultural Monument	<b>SH</b> Private Senior High School	 Wildlife Preserve Gate
 Horsekeeping Area	<b>SF</b> Private Special School	
 Horsekeeping Area (Proposed)	 Public Elementary (Proposed Expansion)	


## SCHOOLS/PARKS WITH 500 FT. BUFFER

 Existing School/Park Site	 Planned School/Park Site	 Inside 500 Ft. Buffer
 Aquatic Facilities	 Other Facilities	 Opportunity School
 Beaches	 Park / Recreation Centers	 Charter School
 Child Care Centers	 Parks	 Elementary School
 Dog Parks	 Performing / Visual Arts Centers	 Span School
 Golf Course	 Recreation Centers	 Special Education School
 Historic Sites	 Senior Citizen Centers	 High School
 Horticulture/Gardens		 Middle School
 Skate Parks		 Early Education Center

## COASTAL ZONE



 Coastal Commission Permit Area
 Dual Permit Jurisdiction Area
 Single Permit Jurisdiction Area
 Not in Coastal Zone

## TRANSIT ORIENTED COMMUNITIES (TOC)

 Tier 1	 Tier 3
 Tier 2	 Tier 4

**Note:** TOC Tier designation and map layers are for reference purposes only. Eligible projects shall demonstrate compliance with Tier eligibility standards prior to the issuance of any permits or approvals. As transit service changes, eligible TOC Incentive Areas will be updated.

## WAIVER OF DEDICATION OR IMPROVEMENT

 Public Work Approval (PWA)
 Waiver of Dedication or Improvement (WDI)

## MIXED INCOME INCENTIVE PROGRAM (MIIP)

### TRANSIT ORIENTED INCENTIVE AREAS (TOIA)

 T-1	 T-2	 T-3	 Outside of TOIA
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






















### OPPORTUNITY CORRIDORS (OC)

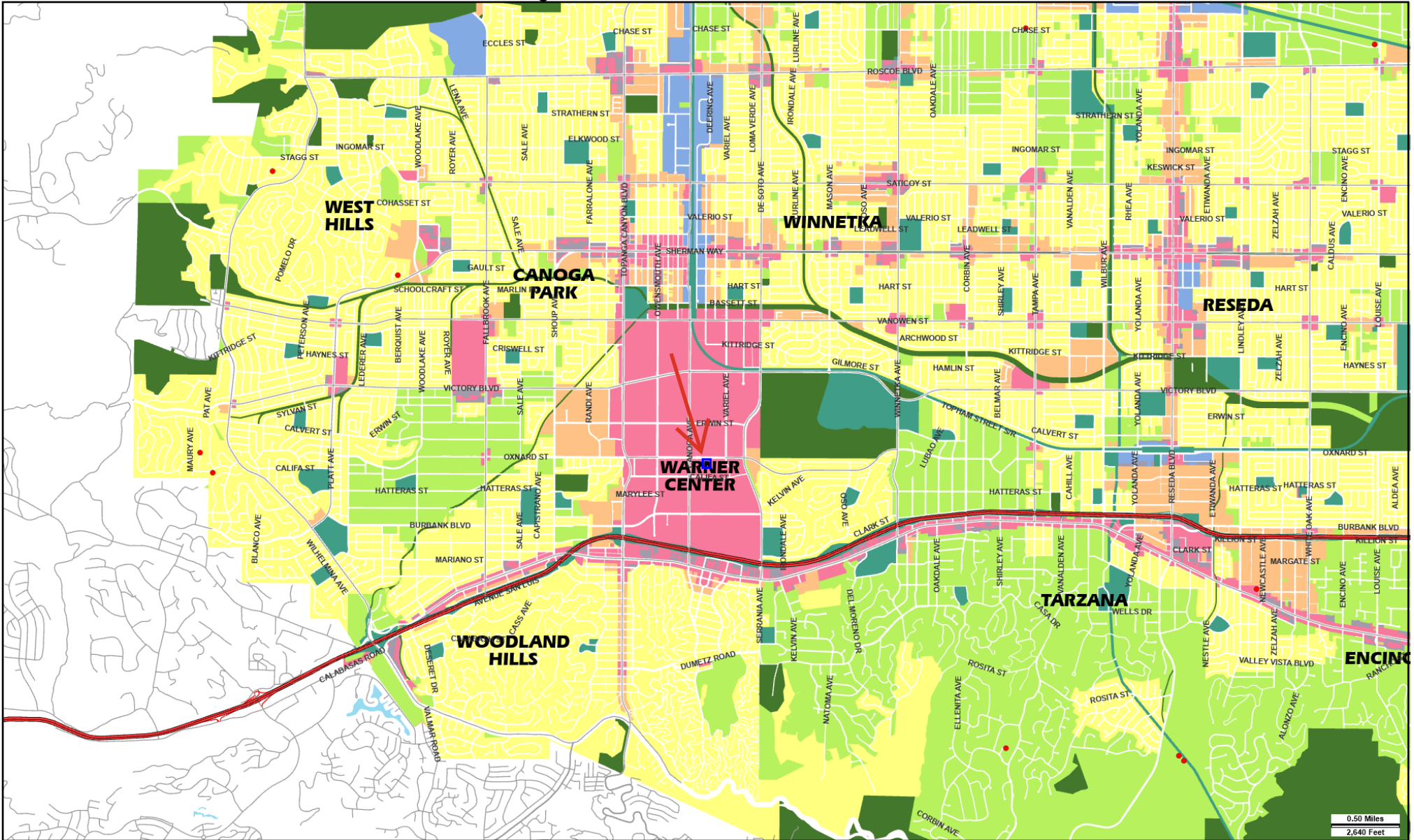
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### CORRIDOR TRANSITION INCENTIVE AREAS (CT)

 CT-1	 CT-2	 CT-3
--	---	--

## OTHER SYMBOLS

 Lot Line	 Airport Hazard Zone	 Flood Zone
 Tract Line	 Census Tract	 Hazardous Waste
 Lot Cut	 Coastal Zone	 High Wind Zone
 Easement	 Council District	 Hillside Grading
 Zone Boundary	 LADBS District Office	 Historic Preservation Overlay Zone
 Building Line	 Downtown Parking	 Specific Plan Area
 Lot Split	 Fault Zone	 Very High Fire Hazard Severity Zone
 Community Driveway	 Fire District No. 1	 Wells - Active
 Building Outlines 2020	 Tract Map	 Wells - Inactive
 Building Outlines 2017	 Parcel Map	



Address: 21300 1-173 W OXNARD ST  
 APN: 2149002032  
 PIN #: 177B105 74

Tract: P M 3752  
 Block: None  
 Lot: B  
 Arb: None









Zoning: (WC)COMMERCE-SN  
 General Plan: Regional Center Commercial



0.50 Miles  
2,640 Feet

# LEGEND

## GENERALIZED ZONING

-  OS, GW
-  A, RA
-  RE, RS, R1, RU, RZ, RW1
-  R2, RD, RMP, RW2, R3, RAS, R4, R5, PVSP
-  CR, C1, C1.5, C2, C4, C5, CW, WC, ADP, LASED, CEC, USC, PPSP, MU, NMU
-  CM, MR, CCS, UV, UI, UC, M1, M2, LAX, M3, SL, HJ, HR, NI
-  P, PB
-  PF


## GENERAL PLAN LAND USE

### LAND USE

#### RESIDENTIAL





-  Minimum Residential
-  Very Low / Very Low I Residential
-  Very Low II Residential
-  Low / Low I Residential
-  Low II Residential
-  Low Medium / Low Medium I Residential
-  Low Medium II Residential
-  Medium Residential
-  High Medium Residential
-  High Density Residential
-  Very High Medium Residential

#### COMMERCIAL






-  Limited Commercial
-  Limited Commercial - Mixed Medium Residential
-  Highway Oriented Commercial
-  Highway Oriented and Limited Commercial
-  Highway Oriented Commercial - Mixed Medium Residential
-  Neighborhood Office Commercial
-  Community Commercial
-  Community Commercial - Mixed High Residential
-  Regional Center Commercial

### FRAMEWORK

#### COMMERCIAL

-  Neighborhood Commercial
-  General Commercial
-  Community Commercial
-  Regional Mixed Commercial






#### INDUSTRIAL

-  Commercial Manufacturing
-  Limited Manufacturing
-  Light Manufacturing
-  Heavy Manufacturing
-  Hybrid Industrial




#### PARKING

-  Parking Buffer

#### PORT OF LOS ANGELES

-  General / Bulk Cargo - Non Hazardous (Industrial / Commercial)
-  General / Bulk Cargo - Hazard
-  Commercial Fishing
-  Recreation and Commercial
-  Intermodal Container Transfer Facility Site



#### LOS ANGELES INTERNATIONAL AIRPORT

-  Airport Landside / Airport Landside Support
-  Airport Airside
-  LAX Airport Northside

#### OPEN SPACE / PUBLIC FACILITIES




















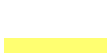





-  Open Space
-  Public / Open Space
-  Public / Quasi-Public Open Space
-  Other Public Open Space
-  Public Facilities

#### INDUSTRIAL

-  Limited Industrial
-  Light Industrial

# CHAPTER 1A LEGEND

## General Plan Designation















	Transit Core		Medium Residential		Agriculture
	Traditional Core		Low Neighborhood Residential		Hybrid Industrial
	Regional Center		Low Medium Residential		Markets
	High Residential		Low Residential		Light Industrial
	Community Center		Compact Residential		Production
	Village		Very Low Residential		Industrial
	Neighborhood Center		Minimum Residential		Open Space
	Medium Neighborhood Residential				Public Facilities
					Public Facilities - Freeways










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	Open Space		Residential-Mixed		Industrial-Mixed
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	Residential Single Family		Commercial-Mixed		Freeway
	Residential Multiple Family		Industrial		






# CIRCULATION

## STREET





































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

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 Dual Permit Jurisdiction Area
 Single Permit Jurisdiction Area
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### TRANSIT ORIENTED INCENTIVE AREAS (TOIA)

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






















### OPPORTUNITY CORRIDORS (OC)

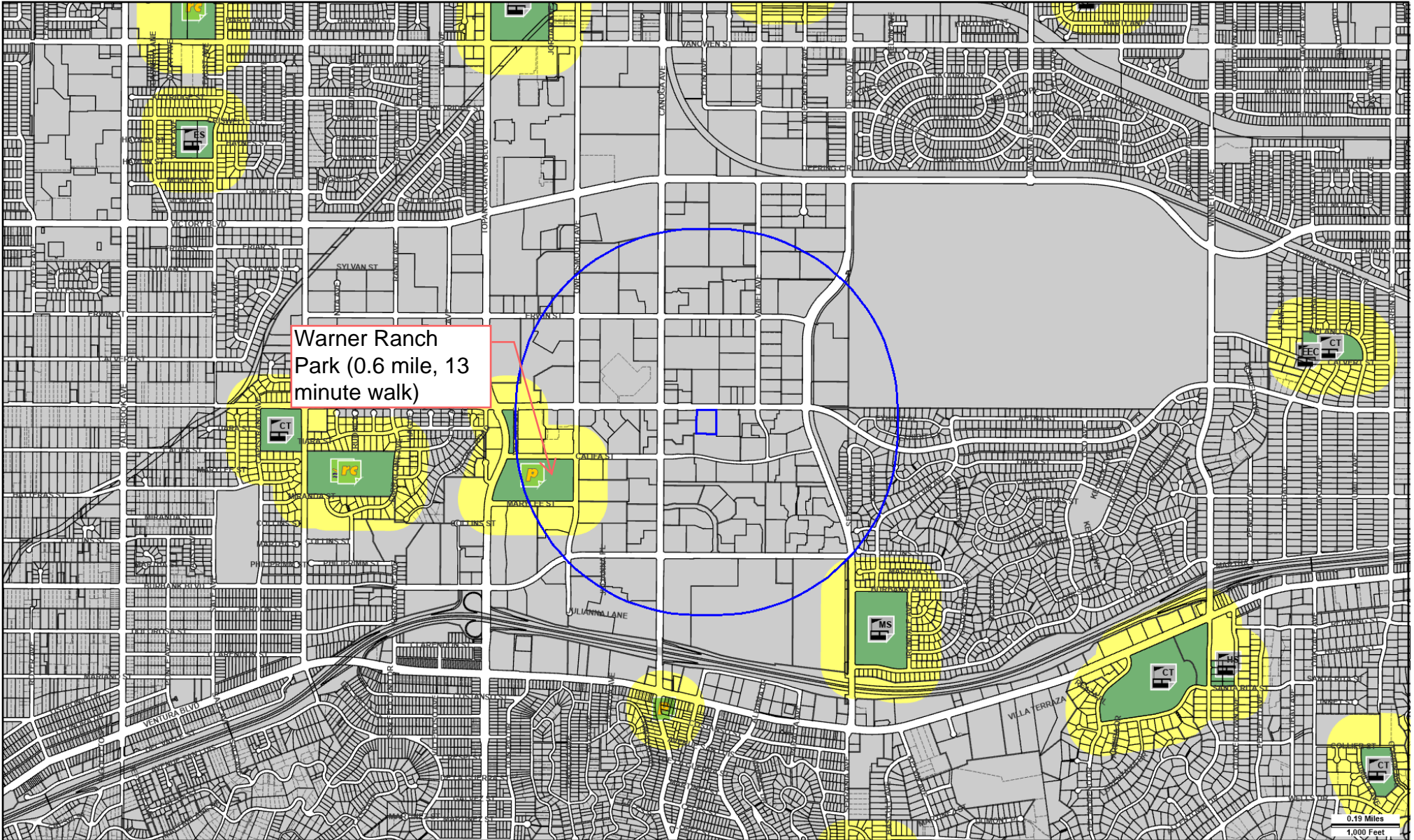
 OC-1	 OC-2	 OC-3
--	---	--

### CORRIDOR TRANSITION INCENTIVE AREAS (CT)

 CT-1	 CT-2	 CT-3
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## OTHER SYMBOLS

 Lot Line	 Airport Hazard Zone	 Flood Zone
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 Lot Cut	 Coastal Zone	 High Wind Zone
 Easement	 Council District	 Hillside Grading
 Zone Boundary	 LADBS District Office	 Historic Preservation Overlay Zone
 Building Line	 Downtown Parking	 Specific Plan Area
 Lot Split	 Fault Zone	 Very High Fire Hazard Severity Zone
 Community Driveway	 Fire District No. 1	 Wells - Active
 Building Outlines 2020	 Tract Map	 Wells - Inactive
 Building Outlines 2017	 Parcel Map	



Address: 21300 1-173 W OXNARD ST

Tract: P M 3752

Zoning: (WC)COMMERCE-SN

APN: 2149002032

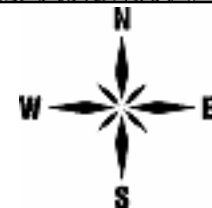
Block: None

General Plan: Regional Center Commercial

PIN #: 177B105 74

Lot: B









Arb: None



0.19 Miles  
1,000 Feet

# LEGEND

## GENERALIZED ZONING

	OS, GW
	A, RA
	RE, RS, R1, RU, RZ, RW1
	R2, RD, RMP, RW2, R3, RAS, R4, R5, PVSP
	CR, C1, C1.5, C2, C4, C5, CW, WC, ADP, LASED, CEC, USC, PPSP, MU, NMU
	CM, MR, CCS, UV, UI, UC, M1, M2, LAX, M3, SL, HJ, HR, NI
	P, PB
	PF




## GENERAL PLAN LAND USE

### LAND USE

#### RESIDENTIAL




	Minimum Residential
	Very Low / Very Low I Residential
	Very Low II Residential
	Low / Low I Residential
	Low II Residential
	Low Medium / Low Medium I Residential
	Low Medium II Residential
	Medium Residential
	High Medium Residential
	High Density Residential
	Very High Medium Residential

#### COMMERCIAL






	Limited Commercial
	Limited Commercial - Mixed Medium Residential
	Highway Oriented Commercial
	Highway Oriented and Limited Commercial
	Highway Oriented Commercial - Mixed Medium Residential
	Neighborhood Office Commercial
	Community Commercial
	Community Commercial - Mixed High Residential
	Regional Center Commercial

### FRAMEWORK

#### COMMERCIAL

	Neighborhood Commercial
	General Commercial
	Community Commercial
	Regional Mixed Commercial






#### INDUSTRIAL

	Commercial Manufacturing
	Limited Manufacturing
	Light Manufacturing
	Heavy Manufacturing
	Hybrid Industrial




#### PARKING

	Parking Buffer
---	----------------






#### PORT OF LOS ANGELES

	General / Bulk Cargo - Non Hazardous (Industrial / Commercial)
	General / Bulk Cargo - Hazard
	Commercial Fishing
	Recreation and Commercial
	Intermodal Container Transfer Facility Site



#### LOS ANGELES INTERNATIONAL AIRPORT

	Airport Landside / Airport Landside Support
	Airport Airside
	LAX Airport Northside

#### OPEN SPACE / PUBLIC FACILITIES























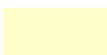


	Open Space
	Public / Open Space
	Public / Quasi-Public Open Space
	Other Public Open Space
	Public Facilities

#### INDUSTRIAL

	Limited Industrial
	Light Industrial

# CHAPTER 1A LEGEND

## General Plan Designation
















	Transit Core		Medium Residential		Agriculture
	Traditional Core		Low Neighborhood Residential		Hybrid Industrial
	Regional Center		Low Medium Residential		Markets
	High Residential		Low Residential		Light Industrial
	Community Center		Low Residential		Production
	Village		Compact Residential		Industrial
	Neighborhood Center		Very Low Residential		Open Space
	Medium Neighborhood Residential		Minimum Residential		Public Facilities
					Public Facilities - Freeways

















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# CIRCULATION

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



































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

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






















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