

BOARD REPORT

NO. 26-098

DATE May 07, 2026

C.D. 14

BOARD OF RECREATION AND PARK COMMISSIONERS

SUBJECT: 1ST AND BROADWAY CIVIC CENTER PARK - APPROVAL OF FINAL PLANS AND SPECIFICATIONS OF THE EL CORAZÓN ART PARK PROJECT ON PARK PROPERTY WITH THE ALTAMED MUSEUM OF CHICANO AND MEXICAN ART AND AMENDMENT TO LICENSE AGREEMENT TO UPDATE SITE MAP AND ADDITIONAL USES; CATEGORICAL EXEMPTION FROM THE PROVISIONS OF THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) PURSUANT TO ARTICLE 19, SECTION 15332 [IN-FILL DEVELOPMENT PROJECTS] OF CALIFORNIA CEQA GUIDELINES

* B. Aguirre	<u>BA</u>	M. Rudnick	_____
C. Stoneham	_____	C. Santo Domingo	_____
B. Jones	_____	N. Williams	_____



 General Manager

Approved _____ Disapproved _____ Withdrawn _____

RECOMMENDATIONS

1. Approve the final plans and specifications for the El Corazon Art Park Project at 1st and Broadway Civic Center Park (Park) as described in this Report and as set forth in Attachments 1 and 2 of this Report (Project Plans);
2. Amend the License Agreement between the City of Los Angeles and AltaMed Museum of Chicano and Mexican Art previously approved by the Board of Recreation and Park Commissioners (Board) (BR #26-030) by updating Exhibit A (Permitted Uses) and Exhibit B (Site Map) of the agreement in the form set forth in Attachment 6 to reflect the Project Plans and the additional uses of the Park in connection thereto;
3. Determine that the proposed Project is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Article 19, Section 15332 [In-Fill Development Projects] of City CEQA Guidelines, and direct staff to file a notice of exemption with the California Office of Land Use and Climate Innovation and the Los Angeles County Clerk;
4. Authorize RAP's Chief Accounting Employee to prepare a check to the Los Angeles County Clerk in the amount of \$25.00 for the purpose of filing the NOE; and

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5. Authorize RAP staff to make technical corrections as necessary in order to carry out the intent of the Board in approving this report.

SUMMARY

In its meeting on February 5, 2026, the Board of Recreation and Parks Commissioners (Board) approved a License Agreement with the AltaMed Museum of Chicano and Mexican Art (AltaMed), a California non-profit corporation, for non-exclusive use of the 1st and Broadway Civic Center Park (Park) for the provision of various arts, cultural and health-related programming at the Park for a term of one year from February 6, 2026 to February 5, 2027 (BR #26-030).

As part of the approval, it was noted that if AltaMed plans to install any structures or improvements at the Park, the final plans for such improvements and any additional proposed public programming to the Park would come to the Board for approval and any further CEQA determinations prior to installation/construction. AltaMed has now submitted for Board approval final plans and specifications for the installation and construction of additional improvements at the Park in connection with its El Corazon Art Park Project. The Project improvements, as more specifically detailed in Attachment 2 and as depicted in the site map attached as Attachment 1, include: flexible open plaza space (pavers or binded gravel); approximately 30 boxed trees; ADA compliant decomposed granite pathways; Wellness Center, Art Gallery and Hospitality Suite comprised of temporary two-story event tent structures; and Corazon Heart art sculpture which is custom-fabricated engineered from steel tubing and includes a twenty-foot LED video sphere display as part of a sculpture (Attachment 2). Exhibit B of the License Agreement will be amended to include details of these new improvements.

AltaMed has met with the Downtown L.A. Neighborhood Council (DLANC) Board of Directors, DLANC Planning and Land Use Committee, DLANC Livability Committee, the DTLA Alliance, and the DTLA Historic Core BID. AltaMed has an online survey (survey.corazonartpark.org) and is currently working on a project website with information about the Park. A summary from Altamed of the Community Outreach including design responses to feedback (Attachment 3). RAP has received a letter from the Downtown Los Angeles Residents Association regarding their position (Attachment 4). The DLANC also sent a letter expressing concern about the proposed Project (Attachment 5).

Previously, the Board approved proposed programming activities at the site to include the provision of: sports mental health services for RAP program participants, sports nutrition services, wellness activities, and arts/cultural activities. The additional improvements set forth in the final plans which are the subject of this report would allow the provision of additional programming. These additional programming activities include: Art Gallery for public and private exhibitions as well as special events, meetings and conferences with an open porch area and 10 parking spaces for staff and security; Wellness Center includes a shaded area that can program food vendors and a porch area with shaded elements; Corazon Heart Sculpture that consists of a 30 foot high x 35 foot wide heart structure that contains a 20 foot spherical screen that would project content

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about art, culture, wellness, sports and sponsor recognition pursuant to the City's applicable sign ordinance and RAP's sponsorship guidelines; and Flexible Open Space that would serve as programming space for arts and cultural performances with any sponsorship recognition subject to the City's applicable sign ordinance and RAP approval. Exhibit A of the License Agreement will be amended as set forth (in Attachment 6) to include these new additional activities.

The activation of the site with culturally relevant, community focused programming would be particularly beneficial to the public in light of large upcoming events like the 2026 World Cup. At a minimum, the Park will be open to the general public for public use from 8:00 a.m. to 9:00 p.m. each day from Thursday through Sunday of each week and up to 10:00 p.m. on those days for ticketed and special events.

Approval of this Agreement supports RAP's efforts to activate underutilized park space through partnerships that deliver arts, cultural, and wellness programming, while leveraging non-General Fund resources to provide meaningful public benefit.

TREES AND SHADE

The Park landscaping will include approximately 30 boxed planters and trees throughout the site, and decomposed granite on walking paths. A landscaping vendor will bring in water for weekly watering of the boxed planters and trees.

ENVIRONMENTAL IMPACT

In 2013, the City acquired the project site from the State of California, which involved demolition and hazardous materials remediation and abatement activities. The project site is currently a vacant dirt lot that is fenced at the perimeter and is currently used as a surface parking lot and occasionally holds special events and filming.

The Project will consist of a temporary use and minor improvement of an approximately 1.96-acre vacant, previously disturbed urban infill site, located at 126 N. Broadway in downtown Los Angeles, to provide temporary event space associated with 2026 World Cup events hosted in the City of Los Angeles. Improvements include two temporary event tent structures, a community art exhibit/sculpture, open space area and landscaping, and associated site improvements. Beneficiaries of the Project include the surrounding community and visitors/tourists attending World Cup-related activities licensing the use of an existing public involving negligible or no expansion of existing or former use.

The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulation; it occurs within city limits on a project site of no more than five acres, substantially surrounded by urban uses; the proposed Project site has no value as habitat for endangered, rare, or threatened species; its approval would not result in any significant effects relating to traffic, noise, air quality, or water quality; and the site can be adequately served by all required utilities and public services.

The parcel profile retrieved on January 27, 2026 through NavigateLA (<https://navigate.lacity.org/navigate/>) shows that the Project site is not located within a coastal,

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historic preservation, or flood zone, nor is it in the vicinity of the Alquist-Priolo fault zone. The Project site is not located within a methane or liquefaction zone. As of January 27, 2026, the State Water Resources Control Board (SWRCB) (Geotracker at <https://geotracker.waterboards.ca.gov/>) and the State Department of Toxic Substances Control (DTSC) (Envirostor at <https://www.envirostor.dtsc.ca.gov/>) do not list any contaminated or cleanup program sites situated within 1,000 feet of the Project site. When reviewing the Caltrans Scenic Highway Map, no scenic highways are located near the vicinity of the Project site. No Historic-Cultural Monuments are located at the Project site and the Project does not pose any risk of significant impact to historical resources.

As a result of this environmental impact analysis, RAP staff recommends that the Board of Recreation and Park Commissioners (Board) determines that the proposed Project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) pursuant to 15332 of the California CEQA Guideline; RAP staff will file a Notice of Exemption (NOE) with the Los Angeles County Clerk and the Governor's Office of Land Use and Climate Innovation upon the Board's approval.

FISCAL IMPACT

The project will have no adverse impact on the RAP General Fund, as AltaMed will be responsible for all costs relating to the installation and completion of the Project. Also, AltaMed has agreed to pay RAP a Use Fee of \$175,000.00 over the course of four installments during the term of the proposed Agreement.

STRATEGIC PLAN INITIATIVES AND GOALS

Approval of this Board Report advances RAP's Strategic Plan by supporting:

Goal 3- Create and Maintain World Class Parks and Facilities

Goal 6- Build Financial Strength and Innovative Partnerships

Outcome 3- Expansion and development of new partnerships, sponsorships, and donations support the Department's programs and park facilities

This Report was prepared by Mariana Valdivia, Chief Management Analyst, Partnership Division. Elena Maggioni, Environmental Supervisor II, Planning Construction and Maintenance Branch reviewed compliance with the California Environmental Quality Act.

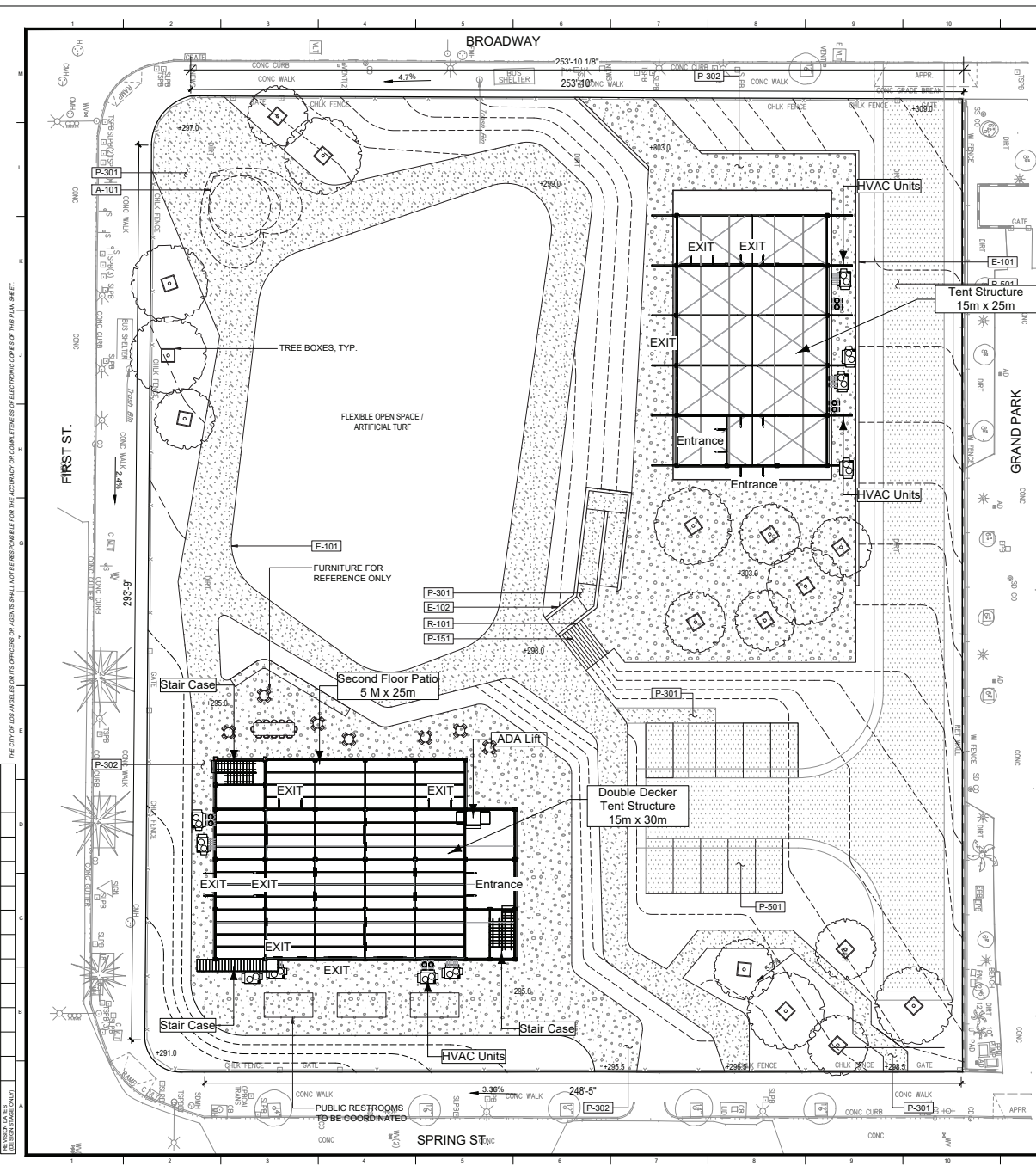
LIST OF ATTACHMENTS/EXHIBITS

- 1) 1st and Broadway Civic Center Park Site Plan
- 2) Project Drawings and Plans: Temporary Building Elevations, Landscaping Plan, Corazon Heart Sculpture Details, and Park Elevations
- 3) Summary of Outreach
- 4) Letter from Downtown Los Angeles Residents Association
- 5) Letter from Downtown Los Angeles Neighborhood Council
- 6) Updated Exhibit A and Exhibit B of the License Agreement

ATTACHMENT 1-Site Plan

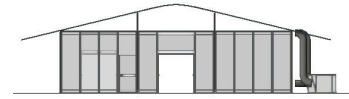


ATTACHMENT 2 -Site Details and Structure Elevations

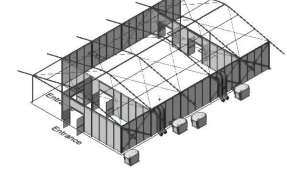


REFERENCE NOTES SCHEDULE	
PAVING SCHEDULE	
CODE	DESCRIPTION
[P-151]	CONCRETE STAIRS
[P-301]	STABILIZED DECOMPOSED GRANITE PAVING A
[P-302]	STABILIZED DECOMPOSED GRANITE PAVING B
[P-501]	DRIVEWAY PAVING
EDGING SCHEDULE	
CODE	DESCRIPTION
[E-101]	METAL EDGING
[E-102]	CURB AT RAMP
RAILING SCHEDULE	
CODE	DESCRIPTION
[R-101]	HANDRAIL AT STAIRS
AMENITY SCHEDULE	
CODE	DESCRIPTION
[A-101]	EL CORAZON SCULPTURE

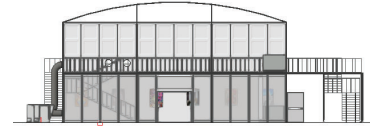
15m Structure Front Profile



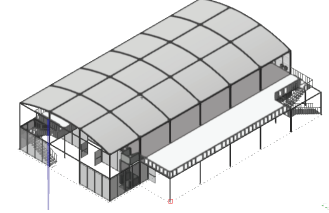
15m Structure Isometric



Double Decker Front Profile



Double Decker Isometric

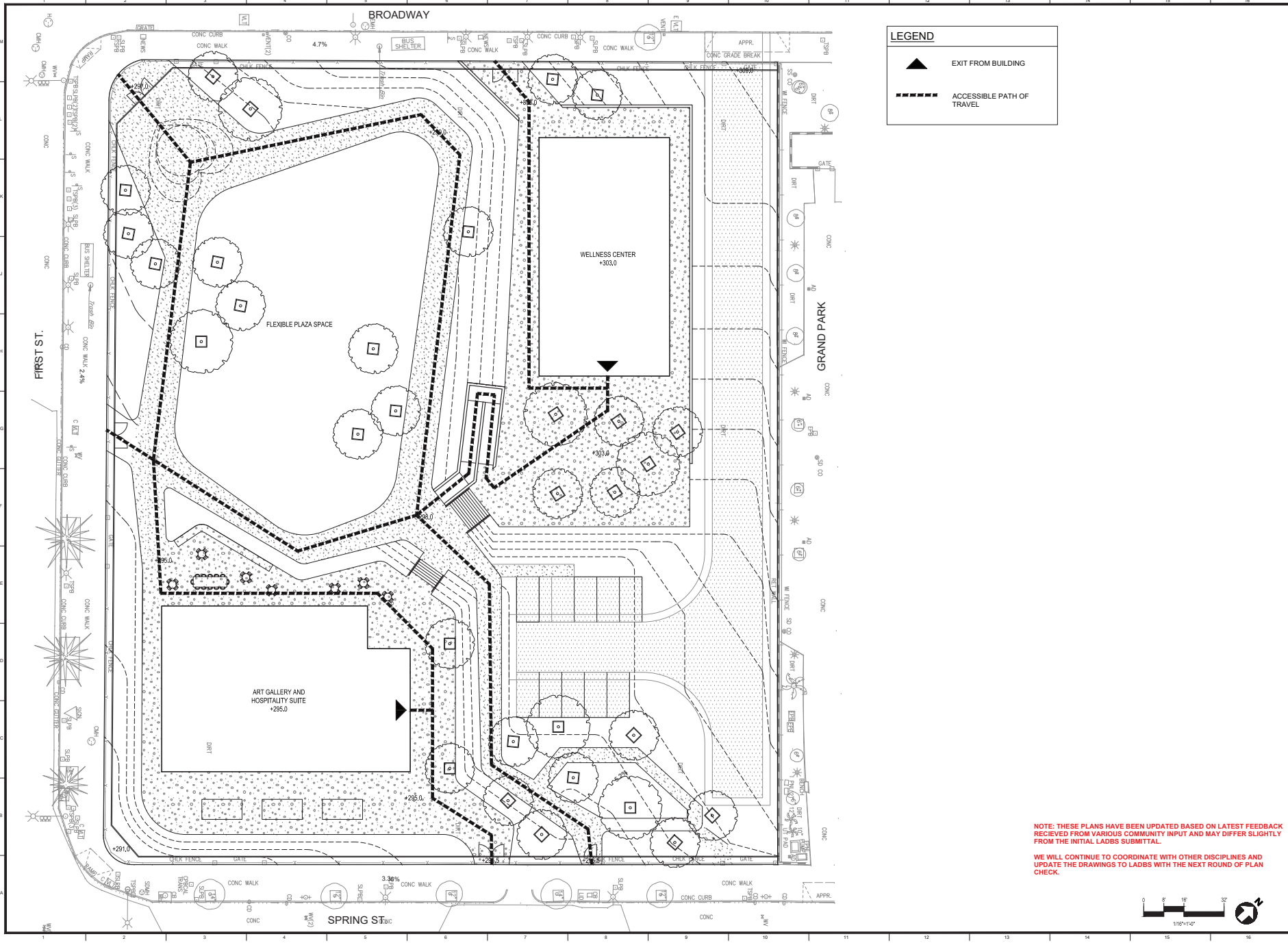


CITY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS BUREAU OF ENGINEERING
 GARY LEE MOORE, PE, ENV SP, CITY ENGINEER
 ARCHITECT: ARCHITECTURAL DESIGN GROUP, INC. NO. []
 DRAWN BY: []
 CHECKED BY: []
 APPROVED BY: STEVEN FENCE, A.A., PRINCIPAL ARCHITECT

SHEET TITLE: OVERALL CONSTRUCTION PLAN
 PROJECT: EL CORAZON ART PARK
 ADDRESS: 126 N BROADWAY LOS ANGELES, CA 90012

WORK ORDER NO. []
 PLAN FILE NO. []
 DRAWING NO. **L201**
 SHEET OF SHEETS []
 PLOTTED 4/30/2014 12:38 PM

ATTACHMENT 2-Landscape Plan

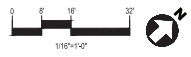


LEGEND

- ▲ EXIT FROM BUILDING
- ACCESSIBLE PATH OF TRAVEL

NOTE: THESE PLANS HAVE BEEN UPDATED BASED ON LATEST FEEDBACK RECEIVED FROM VARIOUS COMMUNITY INPUT AND MAY DIFFER SLIGHTLY FROM THE INITIAL LABDS SUBMITTAL.

WE WILL CONTINUE TO COORDINATE WITH OTHER DISCIPLINES AND UPDATE THE DRAWINGS TO LABDS WITH THE NEXT ROUND OF PLAN CHECK.



CITY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS

GARY LEE MOORE, P.E., ENV SP CITY ENGINEER
ARCHITECT: ARCHITECTURAL DESIGN INC. DATE: []/[]/[]

DESIGNED BY: [] LIC. NO. []
DRAWN BY: []
CHECKED BY: STEVEN FERRE, A.L.A., PRINCIPAL ARCHITECT

PROJECT: EL CORAZON ART PARK
ADDRESS: 126 N. BROADWAY
LOS ANGELES, CA 90012

WORK ORDER NO. []
PLAN FILE NO. []
DRAWING NO. **L101**
SHEET OF SHEETS

DATE BY: []
REVISIONS: []
INDEX NO. []
BUILDING NO. []

9/17/2016 4:58:58 PM

CONSTRUCTION NOTES

- CONTRACTOR TO COORDINATE AND SCHEDULE WORK OF ALL TRADES SO AS TO NOT DELAY AT ANY PHASE OF COMPLETION. CONSTRUCTION DUE TO INTERCONNECTING WORK, OR LATE SCHEDULING. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT ALL SUB-TRADES ARE FAMILIAR WITH THE COMPLETE CONSTRUCTION DOCUMENTS PACKAGE INCLUDING WORK THAT MAY OR MAY NOT BE PART OF THEIR SCOPE.
- WORK SHALL BE PERFORMED WITH THE BEST ACCEPTED PRACTICES OF THE RESPECTED TRADES. ALL MATERIALS TO BE NEW (UNLESS OTHERWISE NOTED ON DRAWINGS), FIRST CLASS IN EVERY RESPECT, AND SHALL CONFORM TO CONTRACT DOCUMENTS.
- DIMENSIONS ARE SUBJECT TO CONVENTIONAL INDUSTRY TOLERANCES EXCEPT WHERE THE REQUIREMENT IS STATED AS A RANGE WITH SPECIFIC MINIMUM AND MAXIMUM END POINTS.
- NOTIFY DIG-ALERT (800.422.4133) TO OBTAIN AN UNDERGROUND SERVICE ID AT LEAST TWO (2) DAYS PRIOR BEFORE PROCEEDING WITH ANY EXCAVATION. LOCATIONS OF ALL SERVICE UTILITY RUNS, SUCH AS WATER SUPPLY, GAS, FIBER, ELECTRICAL (OVERHEAD AND UNDERGROUND), TELEPHONE, STORM, AND SANITARY SEWER, ETC. SHOULD BE ASCERTAINED BEFORE WORK COMMENCES. WHERE SERVICES MAY BE AFFECTED BY EXCAVATION, OR WHERE MACHINES MAY BE WORKING NEARBY, THEY SHOULD BE CAREFULLY SEALED, PROTECTED, OR DIVERTED. NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICT WITH PROPOSED IMPROVEMENTS.
- COORDINATE ALL UTILITY RUNS AND INSTALLATIONS (EXISTING AND NEW) PRIOR TO PAVING INSTALLATION. VERIFY ALL SLEEVES AND ELECTRIC SOURCES FOR IRRIGATION CONTROL AND LIGHTING.
- CLEAN OUT AND ADJUST EXISTING DRAIN INLETS TO ACCOMMODATE PROPOSED SURFACE DRAINAGE. ADJUST LATERAL DRAIN LINES AS NECESSARY TO BEST LINK EXISTING MAIN LINES.
- OBTAIN INSPECTION AND APPROVAL OF FORM WORK AND REINFORCING PRIOR TO PLACING CONCRETE.
- TRANSITIONS FROM EXISTING PAVING TO NEW PAVING OR BETWEEN DIFFERENT PAVING TYPES SHALL BE FLUSH, UNLESS OTHERWISE NOTED.
- GRADIENTS SHALL POSITIVELY SLOPE AWAY FROM FOUNDATION(S) TOWARDS DRAIN INLETS AND DRAINAGE SWALES AT A MINIMUM RATE OF 1/8" PER FOOT. INSTALL CONCRETE FORM WORK WITH LONG, EVEN GRADIENTS TO ELIMINATE DIPS, RIDGES, ABRUPT CHANGES OF GRADE, AND SHARP TRANSITIONS.
- INSTALL EXPANSION JOINTS (EJ) AT ALL VERTICAL ELEMENTS. INSTALL CONSTRUCTION CONTROL JOINTS (CCJ) AT MAX. 12'-0". ZIP JOINTS WILL NOT BE ALLOWED. INSTALL EJS AND CCJ'S AT 90° TO THE EDGE OF CONCRETE PAVING. SEE PLANS FOR ADDITIONAL INFORMATION AND LOCATIONS.
- PRIOR TO PLACING CONCRETE, SUFFICIENTLY MOISTEN THE SUBGRADE AND PROVIDE SUBGRADE PREPARATIONS PER GEOTECHNICAL REPORT RECOMMENDATION.
- INSTALL CONCRETE IMPROVEMENTS THAT OBTAIN A MINIMUM COMPRESSIVE STRENGTH NOTED IN SPECIFICATIONS. CONCRETE TYPE IS ALSO INDICATED IN SPECIFICATIONS; SUBMIT CONCRETE DESIGN MIXES AND REFEREE FINISH SAMPLES TO LANDSCAPE ARCHITECT. PREPARE FIELD MOCKUPS AND OBTAIN THEIR APPROVAL PRIOR TO INSTALLATION OF CONCRETE. INSTALL CONCRETE FLAT WORK PER RECOMMENDATIONS OF GEOTECHNICAL REPORT. IN CASE OF CONFLICT BETWEEN GEOTECHNICAL REPORT AND DETAILS, THE MOST STRINGENT REQUIREMENTS WILL APPLY.
- WATERPROOF, BACKFILL AND COMPACT BEHIND ALL WALLS AND MASONRY STRUCTURES AS REQUIRED ON DRAWINGS. BACKFILL PLANTERS WITH IMPORTED AMENDED SOIL MIXTURE PER SPECIFICATIONS.
- OWNER SHALL EMPLOY AND PAY FOR SERVICES OF AN INDEPENDENT TESTING LABORATORY TO PERFORM SPECIFIED INSPECTION AND TESTING. IN THE EVENT A TEST AND/OR INSPECTION INDICATES FAILURE OF A MATERIAL OR PROCEDURE TO MEET REQUIREMENTS OF THE CONSTRUCT DOCUMENTS, COSTS FOR RE-TESTING AND/OR RE-INSPECTION WILL BE PAID BY THE OWNER AND BACK-CHARGED TO THE CONTRACTOR.
- ADDITIONAL TESTS AND/OR INSPECTIONS NOT HEREIN SPECIFIED BUT REQUESTED BY THE OWNER OR LANDSCAPE ARCHITECT WILL BE PAID BY THE OWNER, UNLESS RESULTS OF SUCH TESTS AND/OR INSPECTIONS ARE FOUND TO BE NOT IN COMPLIANCE WITH CONTRACT DOCUMENTS. IN SUCH CASE, OWNER SHALL PAY FOR ALL COSTS FOR INITIAL TESTING AND/OR INSPECTIONS, AND RE-TESTING AND/OR RE-INSPECTIONS, AND BACK-CHARGED TO THE CONTRACTOR.
- CONTRACTOR IS TO PROTECT EXISTING TREES AND ROOT SYSTEMS DURING INSTALLATION.
- CONTRACTOR IS RESPONSIBLE FOR TOPOGRAPHIC SURVEY AND COORDINATION WITH MLA PRIOR TO CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMIT DRAWINGS/PROCUREMENT TO THE CITY AND /OR OTHER REQUIRED AGENCIES.

REFERENCE NOTES SCHEDULE

PAVING SCHEDULE						
CODE	DESCRIPTION	MATERIAL	FINISH	COLOR	MANUFACTURER	REMARKS
[P-151]	CONCRETE STAIRS	CIP CONCRETE	TOPCAST TBD	NATURAL GRAY	TRADEMARK OR APPROVED EQ	ALT: METAL HEADERS WITH DG INFILL
[P-301]	STABILIZED DECOMPOSED GRANITE PAVING A	DECOMPOSED GRANITE	STABILIZED	TBD	SOUTHWEST BOULDER & STONE	INSTALL IN (2) EQUAL COMPACTED LIFTS
[P-302]	STABILIZED DECOMPOSED GRANITE PAVING B	DECOMPOSED GRANITE	STABILIZED	TBD	SOUTHWEST BOULDER & STONE	INSTALL IN (2) EQUAL COMPACTED LIFTS
[P-401]	PLAZA PAVING	TBD	TBD	TBD	TBD	-
[P-501]	DRIVEWAY PAVING	ASPHALT	TBD	TBD	TBD	STRIPING TBD
EDGING SCHEDULE						
CODE	DESCRIPTION	MATERIAL	FINISH	COLOR	MANUFACTURER	REMARKS
[E-101]	METAL EDGING	STEEL	POWDERCOAT	BLACK	J.D. RUSSELL	ALT: METAL HEADERS
[E-102]	CURB AT RAMP	CIP CONCRETE	TOPCAST TBD	NATURAL GRAY	TRADEMARK OR APPROVED EQ	ALT: METAL HEADERS
FENCE, GATE, RAILING SCHEDULE						
CODE	DESCRIPTION	MATERIAL	FINISH	COLOR	MANUFACTURER	REMARKS
[F-101]	PERIMETER FENCE	ORNAMENTAL IRON	-	BLACK	A-1 FENCING OR APPROVED EQ	KENT 2 RAIL, 6H; INSTALL PER MANUFACTURER SPECIFICATIONS
[G-101]	PERIMETER FENCE GATE	ORNAMENTAL IRON	-	BLACK	A-1 FENCING OR APPROVED EQ	6H; INSTALL PER MANUFACTURER SPECIFICATIONS
[R-101]	HANDRAIL AT STAIRS	STAINLESS STEEL	TBD	NATURAL	CUSTOM	-
AMENITY SCHEDULE						
CODE	DESCRIPTION	MATERIAL/MODEL	FINISH	COLOR	MANUFACTURER	REMARKS
[A-101]	EL CORAZON SCULPTURE	CUSTOM	-	-	CUSTOM	-

GENERAL NOTES

- INSTALL ALL IMPROVEMENTS IN ACCORDANCE WITH CITY REQUIREMENTS. IN CASE OF DISCREPANCY BETWEEN THESE PLANS AND THE CITY REQUIREMENTS, THE MOST STRINGENT REQUIREMENTS WILL APPLY.
- A VISIT TO THE SITE IS REQUIRED. VERIFY ALL CONDITIONS PRIOR TO SUBMITTING A PROPOSAL OF COST FOR CONSTRUCTION.
- THESE DRAWINGS, AS AN INSTRUMENT OF SERVICE, ARE THE PROPERTY OF THE LANDSCAPE ARCHITECT AND MAY NOT BE REPRODUCED WITHOUT THE LANDSCAPE ARCHITECT'S PERMISSION AND UNLESS THE REPRODUCTION CARRIES THE LANDSCAPE ARCHITECT'S NAME. ALL DESIGN AND OTHER INFORMATION SHOWN ON THE DRAWINGS IS FOR USE ON THE SPECIFIED PROJECT ONLY AND SHALL NOT BE USED OTHERWISE WITHOUT WRITTEN PERMISSION FROM THE LANDSCAPE ARCHITECT.
- REVIEW THESE PLANS AND NOTES COMPLETELY. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT IMMEDIATELY UPON DISCOVERY.
- EXTRA WORK TO BE APPROVED IN WRITING BY THE OWNER PRIOR TO COMMENCEMENT OF WORK.
- IT IS THE RESPONSIBILITY OF THE SUB-CONTRACTORS TO FAMILIARIZE THEMSELVES WITH ALL GRADE DIFFERENCES, LOCATION OF WALLS, UTILITIES, SEWERS, WATER LINES, ETC. COORDINATE WORK WITH OTHER SUB-CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE SLEEVES UNDER PAVING, ELECTRICAL CONNECTIONS, WATER HOOK-UPS, ETC.
- ALL REQUIREMENTS OF THE UNIFORM BUILDING CODE SHALL APPLY TO THE WORK SPECIFIED HEREIN UNLESS OTHERWISE MODIFIED BY THESE DOCUMENTS.
- CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED TO COMPLETE THE WORK SPECIFIED PRIOR TO COMMENCEMENT OF WORK.
- BEFORE COMMENCING ANY WORK, OBTAIN AN UNDERGROUND SERVICE I.D. BY CALLING DIG-ALERT AT 1-800-422-4133 TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION.
- CONTRACTOR TO COORDINATE A PRE-CONSTRUCTION MEETING ON SITE TWO (2) WORKING DAYS PRIOR TO START OF CONSTRUCTION. NOTIFY OWNER, LANDSCAPE ARCHITECT, AND ALL SUB-CONTRACTORS.
- SUBMIT REQUESTS FOR MEETINGS, OBSERVATIONS, AND APPROVALS BY THE LANDSCAPE ARCHITECT TWO (2) WORKING DAYS PRIOR TO THE DATE AND TIME PROPOSED.
- SHOP DRAWINGS MUST BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO PROCEEDING WITH FABRICATION.
- OBTAIN CITY INSPECTOR'S AND LANDSCAPE ARCHITECT'S REVIEW AND APPROVAL OF WORK IN PROGRESS AT VARIOUS TIMES DURING CONSTRUCTION. THE FOLLOWING REVIEWS/MEETINGS ARE MANDATORY. PROVIDE TWO (2) WORKING DAYS NOTICE FOR EACH REQUESTED VISIT.
 - *PRE-JOB CONFERENCE
 - *CONSTRUCTION STAKING
 - *MAIN LINE PRESSURE TEST AND TRENCH DEPTHS PRIOR TO BACKFILL OF TRENCHES
 - *COVERAGE TEST UPON COMPLETION OF SPRINKLER INSTALLATION
 - *FINAL GRADING REVIEW
 - *PLANT MATERIAL LOCATION REVIEW
 - *PLANT MATERIAL APPEARANCE AND QUALITY REVIEW
 - *SOIL PREPARATION AND PLANTING INSTALLATION METHODS
 - *FINAL WALK THROUGH (AT COMPLETION OF PLANTING INSTALLATION)
 - *FINAL WALK THROUGH (AT COMPLETION OF MAINTENANCE PERIOD)

DIRECT ANY QUESTIONS REGARDING THESE PLANS TO :
 STUDIO-MLA
 251 S. MISSION RD.
 LOS ANGELES, CA 90033
 213-384-3844

ATTN: KUSH PAREKH

NOTE: THESE PLANS HAVE BEEN UPDATED BASED ON LATEST FEEDBACK RECEIVED FROM VARIOUS COMMUNITY INPUT AND MAY DIFFER SLIGHTLY FROM THE INITIAL LABDS SUBMITTAL.

WE WILL CONTINUE TO COORDINATE WITH OTHER DISCIPLINES AND UPDATE THE DRAWINGS TO LABDS WITH THE NEXT ROUND OF PLAN CHECK.

THE CITY OF LOS ANGELES OR ITS OFFICERS OR AGENTS SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ELECTRONIC COPIES OF THIS PLAN SHEET.

REVISION DATE: (REVISED DATE)

CITY OF LOS ANGELES
DEPARTMENT OF PUBLIC WORKS
BUREAU OF ENGINEERING

ARCHITECT: GARY LEE MOORE, PE, ENV SP CITY ENGINEER
 ARCHITECTURAL FIRM: ARCHITECTURAL DESIGN GROUP, INC.
 LICENSE NO.:

DATE:

SHEET TITLE: CONSTRUCTION NOTES & SCHEDULE

DRAWN BY: EL CORAZON ART PARK
 CHECKED BY: 126 N. BROADWAY
 LOS ANGELES, CA 90012

WORK ORDER NO.:

DRAWING NO.:

SHEET: L200

OF SHEETS:

PROJECT: EL CORAZON ART PARK

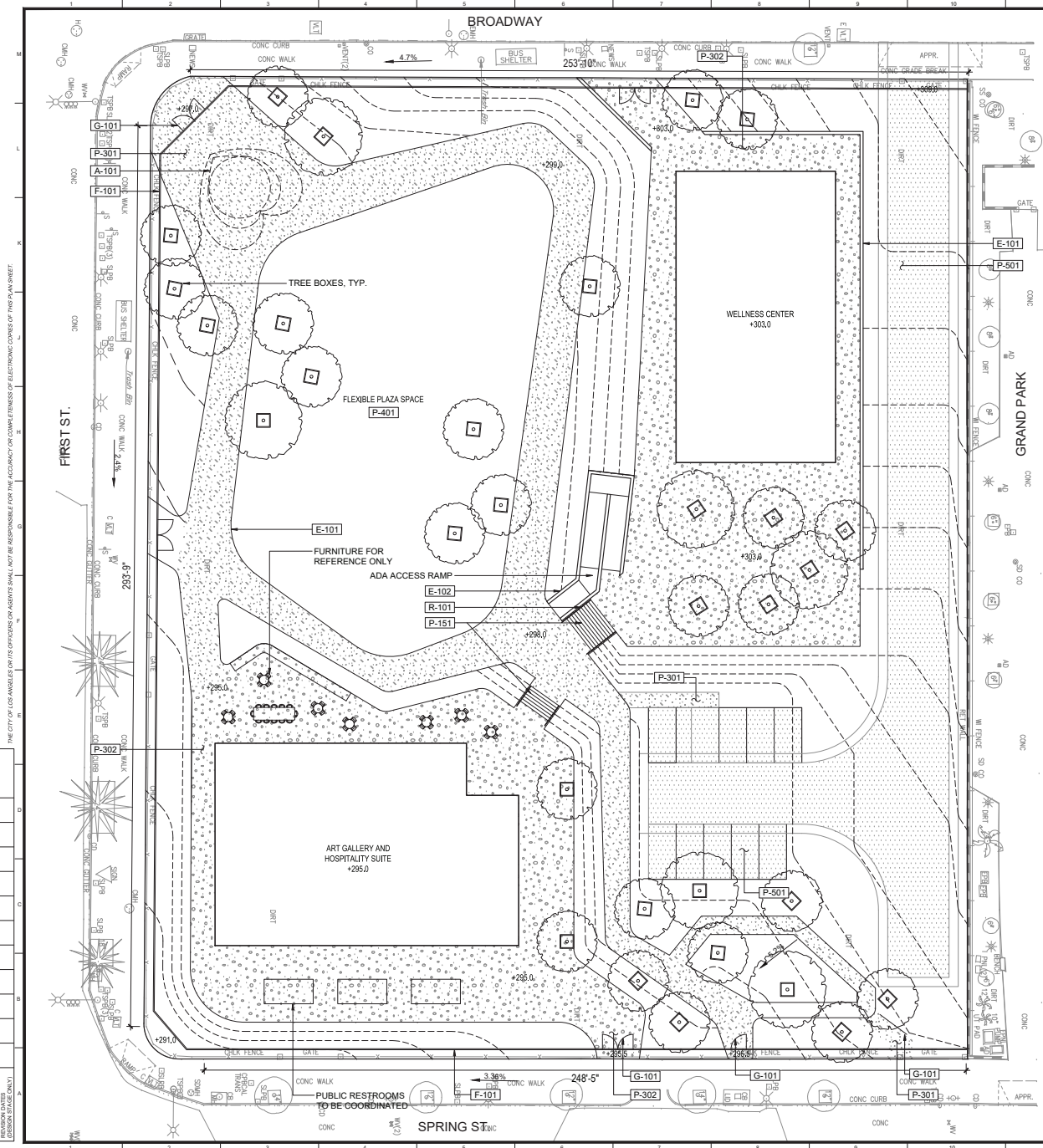
ADDRESS: 126 N. BROADWAY
 LOS ANGELES, CA 90012

PROJECT: EL CORAZON ART PARK

ADDRESS: 126 N. BROADWAY
 LOS ANGELES, CA 90012

PROJECT: EL CORAZON ART PARK

ADDRESS: 126 N. BROADWAY
 LOS ANGELES, CA 90012

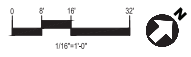


REFERENCE NOTES SCHEDULE

PAVING SCHEDULE	
CODE	DESCRIPTION
P-151	CONCRETE STAIRS
P-301	STABILIZED DECOMPOSED GRANITE PAVING A
P-302	STABILIZED DECOMPOSED GRANITE PAVING B
P-401	PLAZA PAVING
P-501	DRIVEWAY PAVING
EDGING SCHEDULE	
CODE	DESCRIPTION
E-101	METAL EDGING
E-102	CURB AT RAMP
FENCE, GATE, RAILING SCHEDULE	
CODE	DESCRIPTION
F-101	PERIMETER FENCE
G-101	PERIMETER FENCE GATE
R-101	HANDRAIL AT STAIRS
AMENITY SCHEDULE	
CODE	DESCRIPTION
A-101	EL CORAZON SCULPTURE

NOTE: THESE PLANS HAVE BEEN UPDATED BASED ON LATEST FEEDBACK RECEIVED FROM VARIOUS COMMUNITY INPUT AND MAY DIFFER SLIGHTLY FROM THE INITIAL LADBS SUBMITTAL.

WE WILL CONTINUE TO COORDINATE WITH OTHER DISCIPLINES AND UPDATE THE DRAWINGS TO LADBS WITH THE NEXT ROUND OF PLAN CHECK.



THE CITY OF LOS ANGELES OR ITS OFFICERS OR AGENTS SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ELECTRONIC COPIES OF THIS PLAN SHEET.

PROVISION DATE: 08/20/24
REVISION DATE: 08/20/24
DRAWING NO. L201
SHEET OF SHEETS

CITY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS BUREAU OF ENGINEERING

ARCHITECT: **GARY LEE MOORE, P.E., ENV SP** CITY ENGINEER
 ARCHITECTURAL ENGINEER LICENSE NO. _____
 DATE: _____

PROJECT: **EL CORAZON ART PARK**
 ADDRESS: **126 N. BROADWAY LOS ANGELES, CA 90012**

DESIGNED BY: _____
 DRAWN BY: _____
 CHECKED BY: _____
 APPROVED BY: **STEVEN FERRE, A.L.A.** PRINCIPAL ARCHITECT

SHEET TITLE: **OVERALL CONSTRUCTION PLAN**
 PLAN FILE NO. _____

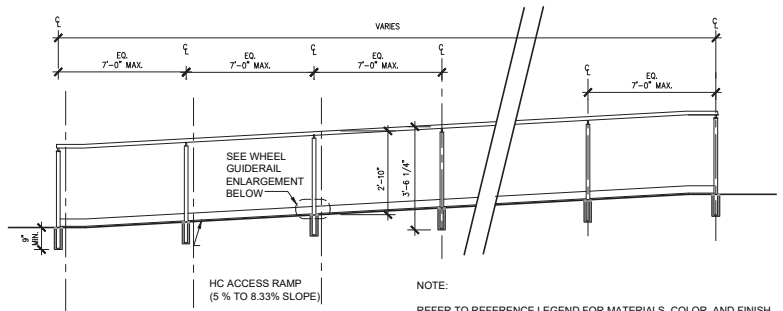
DRAWING NO. **L201**
 SHEET OF SHEETS

WORK ORDER NO. _____
 DATE BY: _____
 BUILDING NO. _____
 INDEX NO. _____

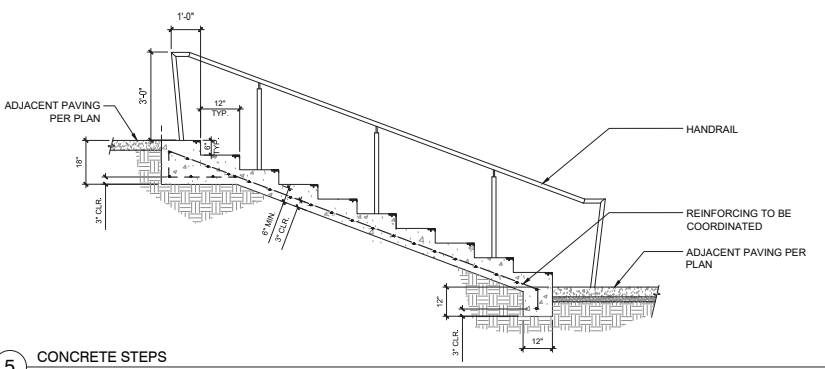
DATE: _____

08/20/24 08:58:58 AM

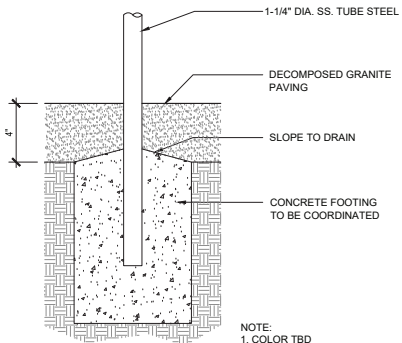
THE CITY OF LOS ANGELES OR ITS OFFICERS OR AGENTS SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ELECTRONIC COPIES OF THIS PLAN SHEET.
 PREVIOUS EDITIONS: 11/12/11, 11/12/12, 11/12/13, 11/12/14, 11/12/15, 11/12/16, 11/12/17, 11/12/18, 11/12/19, 11/12/20, 11/12/21, 11/12/22, 11/12/23, 11/12/24, 11/12/25, 11/12/26, 11/12/27, 11/12/28, 11/12/29, 11/12/30, 11/12/31, 11/12/32, 11/12/33, 11/12/34, 11/12/35, 11/12/36, 11/12/37, 11/12/38, 11/12/39, 11/12/40, 11/12/41, 11/12/42, 11/12/43, 11/12/44, 11/12/45, 11/12/46, 11/12/47, 11/12/48, 11/12/49, 11/12/50, 11/12/51, 11/12/52, 11/12/53, 11/12/54, 11/12/55, 11/12/56, 11/12/57, 11/12/58, 11/12/59, 11/12/60, 11/12/61, 11/12/62, 11/12/63, 11/12/64, 11/12/65, 11/12/66, 11/12/67, 11/12/68, 11/12/69, 11/12/70, 11/12/71, 11/12/72, 11/12/73, 11/12/74, 11/12/75, 11/12/76, 11/12/77, 11/12/78, 11/12/79, 11/12/80, 11/12/81, 11/12/82, 11/12/83, 11/12/84, 11/12/85, 11/12/86, 11/12/87, 11/12/88, 11/12/89, 11/12/90, 11/12/91, 11/12/92, 11/12/93, 11/12/94, 11/12/95, 11/12/96, 11/12/97, 11/12/98, 11/12/99, 11/12/100.



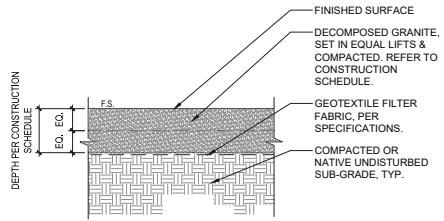
4 RAMP HANDRAIL
 1/2" = 1'-0"
 P-AL T2026-05213-04



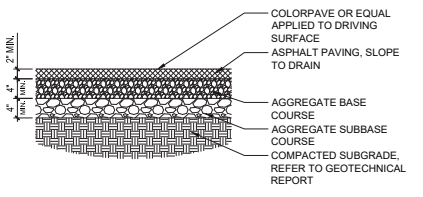
5 CONCRETE STEPS
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 P-AL T2026-32119-04



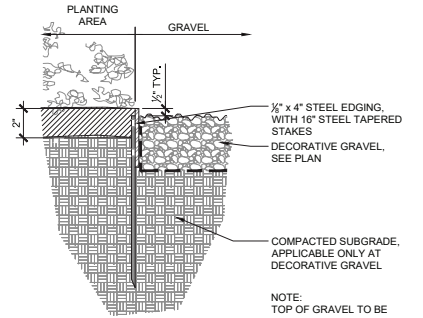
6 POST EMBEDMENT
 3" = 1'-0"
 P-AL T2026-05213-55



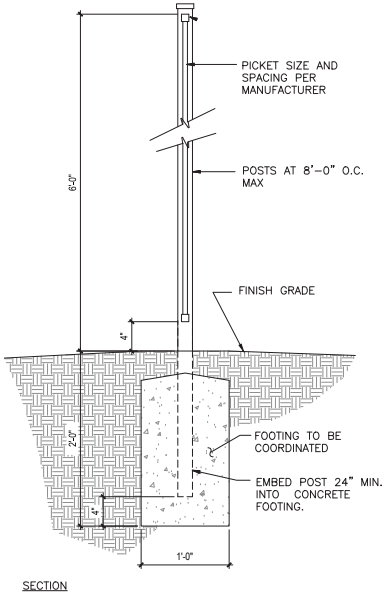
1 DECOMPOSED GRANITE PAVING
 N.T.S.
 P-AL T2026-321516-18



2 ASPHALT
 1" = 1'-0"
 P-AL T2026-321216-05



3 STEEL EDGING
 3" = 1'-0"
 P-AL T2026-329413-08



7 6FT WROUGHT IRON FENCE
 1 1/2" = 1'-0"
 P-AL T2026-323119-01

Kent Panels
 A traditional design with square top pickets.
 Available in 2 or 3 rail styles.

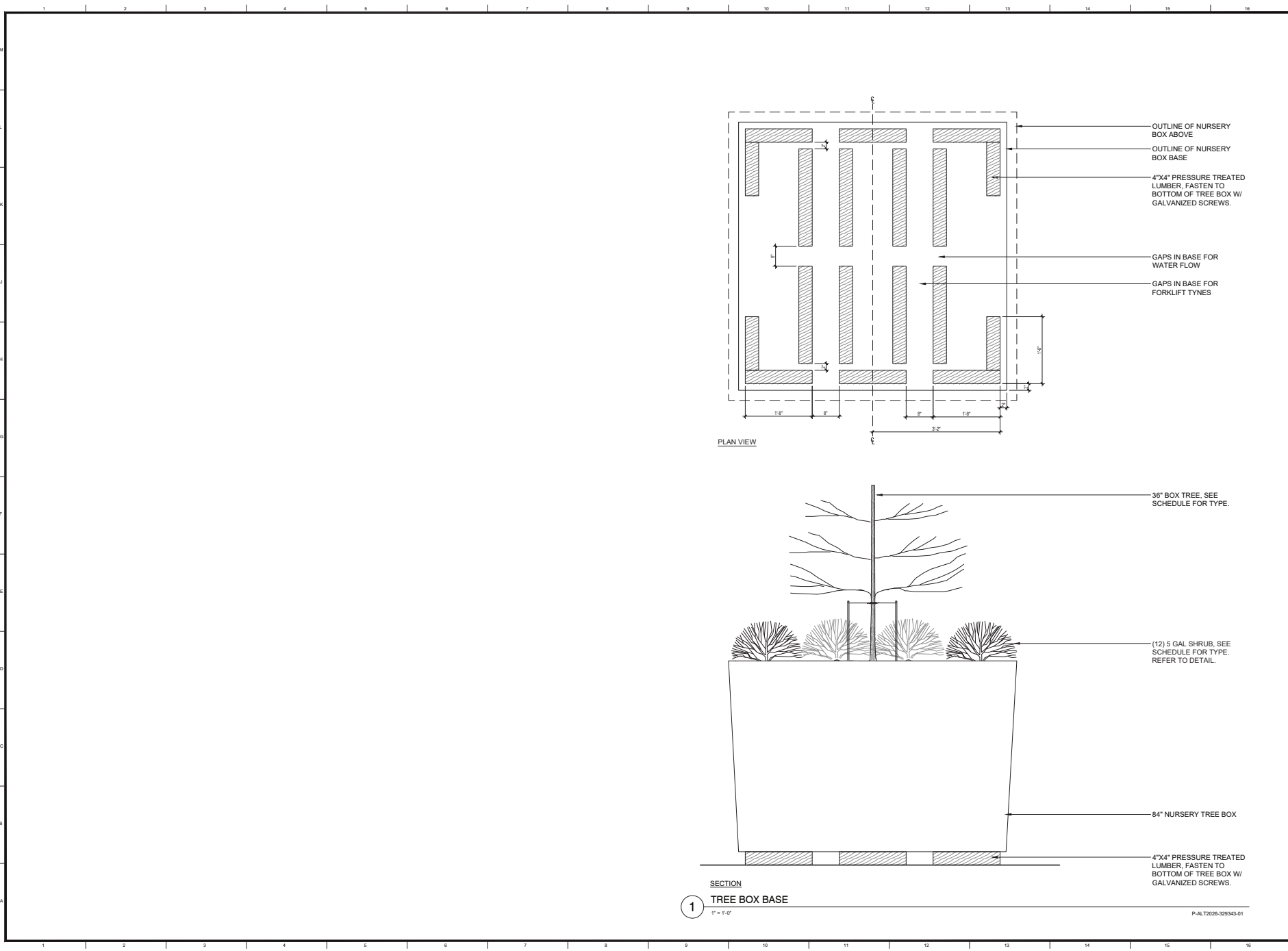
MANUFACTURER SPECIFICATION: NTS

SECTION

CITY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS BUREAU OF ENGINEERING
 ARCHITECT: GARY LEE MOORE, PE, ENV SP CITY ENGINEER
 ARCHITECTURAL DESIGNER: DATE: _____
 ENGINEER: _____
 PROJECT: EL CORAZON ART PARK
 ADDRESS: 126 N. BROADWAY LOS ANGELES, CA 90012
 SHEET TITLE: DETAILS
 DRAWING NO.: L601
 SHEET OF SHEETS

THE CITY OF LOS ANGELES OR ITS OFFICERS OR AGENTS SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ELECTRONIC COPIES OF THIS PLAN SHEET.

INDICATE SHEET REVISION DATE, NUMBER AND DESCRIPTION OF CHANGE. THE PLAN SHALL BE THE RESPONSIBILITY OF THE ARCHITECT OR ENGINEER OF RECORD.



PLAN VIEW

OUTLINE OF NURSERY BOX ABOVE

OUTLINE OF NURSERY BOX BASE

4"X4" PRESSURE TREATED LUMBER, FASTEN TO BOTTOM OF TREE BOX W/ GALVANIZED SCREWS.

GAPS IN BASE FOR WATER FLOW

GAPS IN BASE FOR FORKLIFT TYNES

18" 6" 32" 15"

SECTION

1 TREE BOX BASE

1" = 1'-0"

36" BOX TREE, SEE SCHEDULE FOR TYPE.

(12) 5 GAL SHRUB, SEE SCHEDULE FOR TYPE. REFER TO DETAIL.

84" NURSERY TREE BOX

4"X4" PRESSURE TREATED LUMBER, FASTEN TO BOTTOM OF TREE BOX W/ GALVANIZED SCREWS.

P-AL T2026-329343-01

CITY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS BUREAU OF ENGINEERING

DATE BY:	
DATE:	
INDEX NO.	
BUILDING NO.	

ARCHITECT:	GARY LEE MOORE, PE, ENV SP CITY ENGINEER
ARCHITECTURAL FIRM:	ARCHITECTURAL ENGINEERS, INC.
ENGINEER BY:	
DRAWN BY:	
CHECKED BY:	
APPROVED BY:	STEVEN FERRE, A.L.A., PRINCIPAL ARCHITECT

WORK ORDER NO.	
PLAN FILE NO.	
DRAWING NO.	L602
SHEET	OF SHEETS

PLOT DATE: 4/26/2024 10:51 PM

ATTACHMENT 2-EI Corazon Heart Details

EL CORAZON HEART LED SPHERE V1

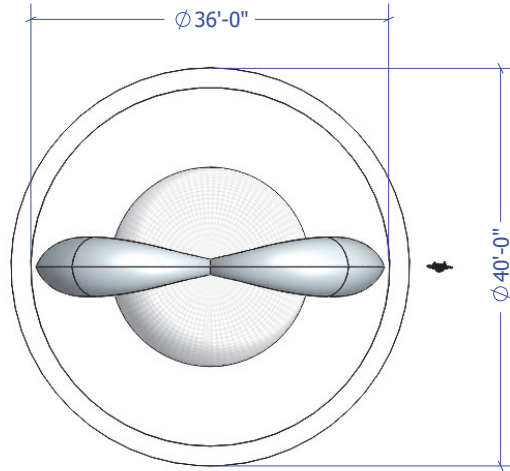
INSTALLATION PROCEDURE

A SURFACE EVALUATION MUST BE CONDUCTED BEFORE FINALIZING INSTALLATION PROCEDURE BY SHOWFX ENGINEERING TEAM.

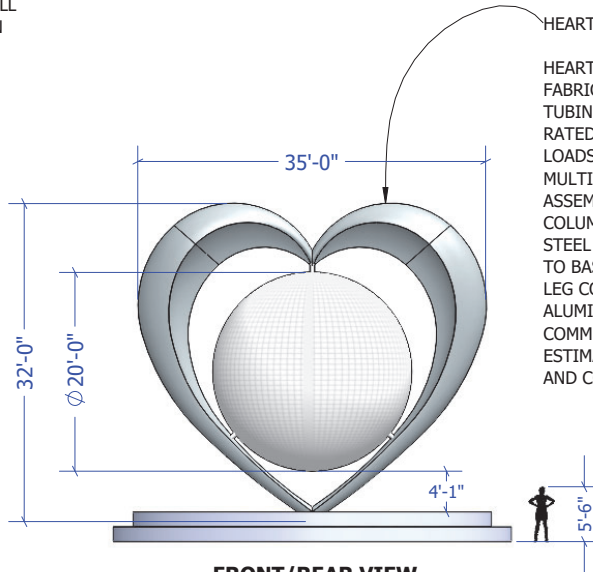
IF GROUND PENETRATION IS ALLOWED, EARTH ANCHORS OR ARROWHEAD CABLE ANCHORS WILL BE USED. IN ADDITION, CONCRETE BALLASTS MAY ALSO BE USED FOR ADDED STABILITY.

ADHERENCE TO LOCAL HEALTH AND SAFETY REGULATIONS WILL BE ADHERED TO.

INSTALLATION TIMELINE IS ESTIMATED TO BE 7-9 DAYS. EQUIPMENT REQUIRED TO PERFORM THE INSTALLATION INCLUDE A 5 TON CRANE AND 2 BASKET CRANE TRUCKS. ALL COMPONENTS TO ARRIVE ON FLAT BED TRAILERS.



TOP VIEW



FRONT/REAR VIEW

HEART FRAME AND COLUMNS

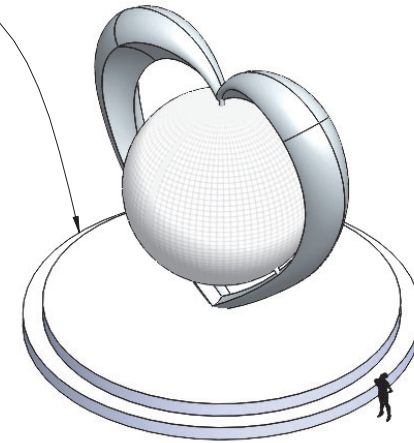
HEART STRUCTURE ENGINEERED AND FABRICATED FROM STEEL TUBING, CERTIFIED WELDED AND RATED FOR RECOMMENDED WIND LOADS. HEART FRAME SHIPS IN MULTIPLE SECTIONS AND IS ASSEMBLED ONTO DUAL LEG COLUMNS, ALSO FABRICATED FROM STEEL AND SECURELY FASTENED TO BASE STRUCTURE. HEART AND LEG COLUMNS ARE CLAD IN ALUMINUM SHEETING, SIMILAR TO COMMERCIAL BUILDING CLADDING. ESTIMATE WEIGHT OF HEART FRAME AND COLUMNS IS 12,000LBS

MONUMENT BASE

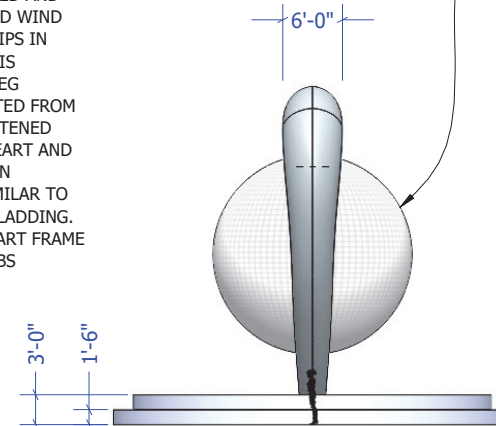
CUSTOM FABRICATED BASE, BUILT FROM STRUCTURAL STEEL TUBING, TO BE SHIPPED IN MULTIPLE PIECES, BOLTED TOGETHER ON SITE. BASE WILL BE STAKED INTO THE GROUND PER ENGINEER'S SPECIFICATIONS AS NEEDED TO WITHSTAND RECOMMENDED WIND RATINGS. CONCRETE BALLAST TO BE ADDED AS NECESSARY.

TOP SURFACE TO BE RESIN COATED WOOD FOR WEATHER RESISTANCE. SURFACE OF BASE NOT INTENDED FOR PEDESTRIAN USE, AND MAY BE EQUIPPED WITH HANDRAIL SURROUND.

ESTIMATE WEIGHT OF BASE STRUCTURE AND CLADDING IS 18,000 LBS



ISOMETRIC VIEW



SIDE VIEW

LED SPHERICAL DISPLAY

(TOTAL SURFACE AREA OF 113SQ METER)

CUSTOM MANUFACTURED LED SPHERE 2.5mm PITCH DISPLAY CAPABLE OF 6000 NIT, 3840 Hz OUTPUT, BUT CAN BE DIMMED AS NEEDED. LED PANELS INSTALLED ONTO CUSTOM FABRICATE STEEL / ALUMINUM STRUCTURE. PANELS ARE REMOVABLE FROM EXTERIOR SERVICE FOR REPAIR OR REPLACEMENT. PRODUCT IS UL CERTIFIED AND WATERPROOF. SPHERE IS SECURELY MOUNTED TO HEART SHAPED STRUCTURE. ESTIMATED WEIGHT OF VIDEO SPHERE AND INTERNAL STRUCTURE IS 10,000 LBS. ESTIMATED POWER CONSUMPTION FOR 10 HOURS PER DAY OF OPERATION IS 339KWH PER DAY.

SHEET: 1 OF 1	
DATE: 4/6/2026	REV. 5
PROJECT CODE: 100	PROJECT NUMBER: 37401
DESIGNER: ADRIAN MORLETT	CURATOR: ALTAMED
PROJECT MANAGER: DAVID MENDOZA	FILE NAME: 37401-el corazon--overview v1
EL CORAZON	
HEART LED SPHERE V1	
 <p>SHOWFX ENGINEERING SANTA FE SPRINGS, CA 90670 PHONE: 562-903-7285 X 231 FAX: 562-903-7287 WWW.SHOWFX.NET</p>	









April 24, 2026

Recreation and Parks Commission
City of Los Angeles
221 N. Figueroa St., Suite 300
Los Angeles, CA 90012



This memo provides an update on community engagement activities related to the El Corazón Art Park since the last update provided to the RAP Commission on April 15, 2026.

SUMMARY

Community Engagement: The AltaMed team has met with Downtown L.A. Neighborhood Council (DLANC) Board of Directors, the DLANC Planning and Land Use Committee (PLUC), the DLANC Livability Committee, the DTLA Alliance, and the DTLA Historic Core BID. At each of those meetings, the team presented El Corazón Art Park programming, operations, and design plans, with opportunities for questions and public comment and community input. The AltaMed team is also scheduled to meet with the DTLA Residents Association (DTLA RA) and once more with the DLANC PLUC to continue briefing the groups on the project and soliciting feedback.

AltaMed rolled out a community input survey (survey.corazonartpark.org) asking for resident and community-wide input on areas such as hours of operation, types of programming, and community organization partnerships. This survey has been shared using a QR Code for easy access, and will be available throughout the duration of the project.

Key issues which have emerged include: exploring modified hours of operation in order to increase public access; a desire for a fence design, which is transparent and attractive; input on materiality of groundcover; concerns regarding security at the site to ensure the safety of visitors; concerns about additional parking; and potential collaborative programming opportunities. There have also been comments and suggestions to improve the pedestrian flow between Grand Park and El Corazón Art Park through the already existing Grand Park fencing separating the lot from Grand Park. The AltaMed team is actively discussing and reviewing these key issues and exploring the feasibility of potential modifications.

ENGAGEMENT HIGHLIGHTS SINCE 4/15/26 REPORT

- **Launch of El Corazón Art Park Community Input Survey.** AltaMed recently launched its web-based community input survey, ending this week's community presentations with an invitation for all participants to share their thoughts on the project via this online survey.
- **DLANC PLUC Presentation - April 21, 2026.** AltaMed and its landscape design partners presented technical plans for the park to the PLUC for input. Members of the public were invited to share feedback and ask questions to the AltaMed team. Key

issues raised were access points and entrances to the park; ensuring logical connectivity to Grand Park and public access points along busy corridors to ensure pedestrian flow and pedestrian safety; and the materiality of the buildings, ground coverings, and the security fencing around the park. Important questions were raised about how the park will interact with demonstrations that gather at the civic center.

- Downtown L.A. Historic Core BID Presentation - April 22, 2026.** The AltaMed team provided a community briefing to the Downtown L.A. Historic Core BID Board of Directors. The Directors asked questions regarding park security and how the park will be maintained to avoid safety concerns of the surrounding businesses and residents. Other key issues that were brought up were hours of operation and the fencing. Several board members expressed support for the project and welcomed the activation of the site.

COMMUNITY INPUT AND DESIGN RESPONSE

What We Heard	Design Response
<p><u>Pedestrian Connections</u> The park should be integrated into already-existing pedestrian access points, the normal pedestrian flow of walkways from First and Spring Streets.</p> <p>Pedestrians should have multiple options to enter and walk through the park.</p> <p>Access should also be integrated with Grand Park so pedestrians can access the Art Park from Grand Park.</p>	<p>AltaMed redesigned pedestrian access points and added pedestrian access off of First Street and Grand Park, improving the flow of pedestrian walkways.</p>
<p><u>Transparent and Aesthetically Pleasing Safety Fencing</u> Safety or security fencing around the park needs to be transparent and not chain-linked.</p>	<p>AltaMed has designed a proposed fence that is both transparent and integrates the fencing into the natural landscape.</p>
<p><u>Accessibility and Hours of Operation</u> We'd like to see a park that has hours of operation similar to other parks, and matches when DTLA residents would make use of the space (e.g. evening hours, after workday hours, and on weekends).</p>	<p>AltaMed will be modifying and increasing hours of operations based on community feedback.</p>

<p><u>Fire Lane</u> Use of green space for a firelane is counter to what a park should be. Can the firelane be removed?</p>	<p>AltaMed inquired with the City regarding the need for a fire lane. If it is permissible, while still remaining compliant, AltaMed is open to removing the fire lane.</p>
<p><u>Synthetic Turf/Astroturf</u> Synthetic turf or “astroturf” do not feel conducive to the natural setting of a green space and park.</p>	<p>AltaMed will no longer be using synthetic turf.</p> <p>AltaMed will be replacing the turf with materials that are both ADA compliant and natural. AltaMed will also provide proposed alternatives to synthetic turf and will seek input from residents and the greater community on their preferred material.</p>

UPCOMING COMMUNITY ENGAGEMENT

- AltaMed has reached out to the **Little Tokyo Community Council** to schedule a community briefing. The Council has expressed enthusiastic interest and welcomes a briefing at their next meeting in May.
- AltaMed has reached out to the **DTLA Residents Association (DTLA RA)** and has a preliminary meeting scheduled for April 24, 2026.
- AltaMed also plans to engage with several of the other **Downtown Area BIDs**.
- AltaMed is currently working on a **project website** that will have information for residents, businesses, and the greater community of the City.
- **DTLA Resident Direct Outreach.** Direct communication to residents of Downtown Los Angeles via informational material delivered to residents’ homes. These materials would not only provide information about the project, but would promote ways residents can engage with the project, directing them to new information in addition to providing guidance on how they can submit input on the project.



The Downtown Los Angeles Residents Association

April 21, 2026

Office of the Mayor
Office of Councilmember Ysabel Jurado, Council District 14
City of Los Angeles Department of Recreation and Parks
Downtown Los Angeles Neighborhood Council (DLANC)

200 N. Spring Street, Suite 425
Los Angeles, CA 90012

Re: Request to Pause the AltaMed Proposal at 1st & Broadway and Restore a Full Public Process for FAB Park

Dear Councilmember Jurado and Staff, Mayor Bass and Staff, and President Midthun and Members of DLANC:

The Downtown Los Angeles Residents Association (“DTLA RA”) is an all-volunteer grassroots organization founded in 2024 that actively works to represent all of the 90,000 people who call DTLA home. Our mission is to create a connected, caring, civically engaged urban community that inspires new and existing residents to make DTLA their long-term home. We have mobilized and connected with more than 3,500 Downtown residents and community stakeholders in approximately 24 months. Our policy positions are rooted in listening to our community and data. Green space and parks have been a top 5 resident priority every year since we launched based on a broad-reaching community survey that solicited more than 500 responses across 10 Downtown neighborhoods this year. We are invested in working to deliver on the priorities of the people who live in Downtown LA, including upholding their needs and priorities when it comes to parks and green space.

On behalf of the DTLA RA, we write to respectfully request that the City pause any further advancement of the AltaMed “El Corazón Art Park” proposal for the 1st & Broadway (“FAB”) Park site (the “Parcel”) and subject any proposed change in use for the Parcel to a full, transparent, and community-facing public process.¹

At the April 2, 2026 meeting of the DLANC Special Joint Planning & Land Use and Livability Committee, AltaMed representatives stated that the proposed El Corazón Art Park Project would occupy the Parcel not only for the initial one-year term, but through the 2028 Olympics. Although initially vague, under repeated and direct questioning from community members they ultimately acknowledged that AltaMed had plans to construct a permanent Museum of Chicano and Mexican Art on the Parcel thereafter. This interaction itself and recorded comments after the meeting raised questions about the extent to which the presenters were being transparent with the community, even during the sole presentation through which the community was informed, at the last minute, of a process already well underway.

That context is important, because it underscores the issue at hand: **the public has been left out of a major decision about an important piece of public land at the heart of their community.** This request does not arise from categorical opposition to cultural investment, a museum concept, or the

¹ City of Los Angeles Department of Recreation and Parks, “Board Report No. 26-030: Proposed Agreement with AltaMed for 1st and Broadway Park (FAB Park),” February 5, 2026, <https://recreation.parks.lacity.gov/sites/default/files/pdf/commissioner/2026/feb05/26-030.pdf>.

activation of a long-dormant site. Some Downtowners we've heard from are open to a museum but deeply troubled by the way this proposal has been advanced. Others support a privately operated museum in principle, but not on this centrally located public Parcel that has long been promised (and deeded) as open green space and a civic gathering place in a park-poor part of the city. Still others see the proposal as another example of the insider politics that have too often left Downtown residents excluded from decisions affecting their own neighborhood, and are skeptical about a private entity operating the site across from City Hall without any sort of request for proposals or fair bidding process. We assume that there are many other perspectives on the right path forward for the Parcel of public land we have not had time to elicit broadly from residents—precisely because this process has been rushed, opaque, and devoid of adequate community engagement until decisions were made behind the scenes.

That concern is sharpened by the stark contrast between the City's treatment of FAB Park and its treatment of the AltaMed proposal. FAB Park is the end result of over ten years of planning and democratic process: a publicly conceived, publicly studied, and publicly processed civic project. According to RAP's own records, the City acquired the site in 2013 as dedicated park land under the "50 Parks Initiative," then undertook demolition, remediation, excavation, grading, design work, public outreach, environmental review, final plan approval, and procurement steps over the course of years.² RAP's 2023 suspension report states that more than \$10.8 million had already been spent on acquisition and related development work, and confirms that the project had advanced far beyond the conceptual stage.³

The environmental review record reflects the same. The original FAB Park proposal was reviewed as a true public park project: a 1.96-acre civic park with landscaped and hardscaped open space, passive recreation, public seating, bicycle parking, lighting, art features, and a restaurant structure.⁴ BOE circulated an Initial Study/Mitigated Negative Declaration for public review from January 3 to February 4, 2019, and held a public meeting on January 15, 2019 to solicit public comment.⁵ That is what a meaningful public process looks like, and given its history and prominence, that is what this Parcel should continue to receive.

The AltaMed proposal, by contrast, appears to have moved through City channels on an accelerated and insider-driven track with little meaningful notice to the Downtown—or any—community. RAP Board Report 26-030 states expressly that, "[d]ue to timing considerations and the temporary nature of the proposed Project, formal public outreach has not yet been conducted," even as the City sought approval of a one-year license agreement and relied on a categorical CEQA

² City of Los Angeles Department of Recreation and Parks, "Board Report No. 23-060: Suspension of 1st and Broadway Civic Center Park Project," March 16, 2023, <https://recreation.parks.lacity.gov/sites/default/files/pdf/commissioner/2023/mar16/23-060.pdf>

³ *Id.*

⁴ City of Los Angeles Department of Public Works, Bureau of Engineering, *Initial Study/Mitigated Negative Declaration for 1st & Broadway Civic Center Park Project* (Los Angeles: City of Los Angeles Department of Public Works, Bureau of Engineering, January 2019), https://apps.engineering.lacity.gov/sites/g/files/wph726/f/1st%20%26%20Broadway%20Park%20IS.MND_Public%20Review%20Version.pdf; City of Los Angeles Department of Public Works, Bureau of Engineering, *Mitigation Monitoring Program for 1st & Broadway Civic Center Park Project* (Los Angeles: City of Los Angeles Department of Public Works, Bureau of Engineering, March 2019), <https://apps.engineering.lacity.gov/sites/g/files/wph726/f/MMRP.pdf>.

⁵ City of Los Angeles Department of Public Works, Bureau of Engineering, *Notice of Availability and Notice of Intent to Adopt a Mitigated Negative Declaration for the 1st and Broadway Civic Center Park Project*, January 3, 2019, https://apps.engineering.lacity.gov/sites/g/files/wph726/f/1st%26Broad_NOA_NOI_Final%20REV.pdf.

exemption.⁶ The same report contemplates that outreach would come later, before final consideration of improvements.⁷ **In other words, the City moved first and proposed to consult the community later.**

That sequencing is especially concerning because the public record suggests that despite the RAP Board Report, the AltaMed proposal was not a last-minute idea requiring fast-track concessions. Internal City emails produced through public records requests shared with the DTLA RA indicate that the matter was already being advanced on an “expedited path” by January 2026, with the Mayor’s Office and CD14 looped in.⁸ In one January 14, 2026 internal email, CD14 Chief of Staff Lauren Hodgins wrote that she had been “briefing the CM” so that the Councilmember was aware of the project.⁹ Another internal communication reflects that AltaMed sought early RAP Board action so it could complete improvements in time for the 2026 World Cup.¹⁰ Public records show that by at least Q3 2025, AltaMed and its representatives were already lobbying City agencies regarding a “First and Broadway Park - AltaMed Museum Project,” including a temporary park concept, museum-related planning, licensing, CEQA, permitting, and the negotiation of two agreements—all well before the Downtown public was meaningfully informed.¹¹

That history raises legitimate questions about transparency and community notice. If the Council Office knew of the proposal by mid-January and the Councilmember was being briefed on it, residents are entitled to ask why the Downtown community was not told, why no meaningful outreach was initiated, and why those who had waited years for FAB Park were left to learn of this shift only after the project was already substantially positioned for approval. Councilmember Jurado campaigned on co-governance, openness, and a clear break from the opaque dealmaking that so often frustrated residents of the district. Yet on this issue—*involving a centrally located public site across from City Hall itself, arguably some of the most politically prominent and high-impact land in the city*—residents appear to have been informed only *after* the proposal was already substantially positioned for approval. Even taking the most charitable view of the facts, that is not the kind of process the community was promised.

This particular Parcel’s history also counsels caution. In March 2023, RAP formally suspended the FAB Park development project, reallocated more than \$14.3 million in Quimby fees previously committed to it, and decommitted additional park fees, while acknowledging uncertainty as to how and when the site

⁶ City of Los Angeles Department of Recreation and Parks, “Board Report No. 26-030: Proposed Agreement with AltaMed for 1st and Broadway Park (FAB Park),” February 5, 2026, 2, <https://recreation.parks.lacity.gov/sites/default/files/pdf/commissioner/2026/feb05/26-030.pdf> (emphasis added).

⁷ *Id.*, 2 (acknowledging that “formal public outreach has not yet been conducted” and representing that AltaMed would engage “stakeholders and community partners prior to final consideration of any improvements on site and throughout the term of the Agreement,” underscoring that the City chose to move the Agreement forward before meaningful community engagement occurred).

⁸ City of Los Angeles, email chain titled “First/Broadway Project,” January 2026, produced in California Public Records Act Request No. 26-3807, accessed April 21, 2026, <https://lacity.nextrequest.com/requests/26-3807>; copy on file with the Downtown Los Angeles Residents Association.

⁹ City of Los Angeles, email from Lauren Hodgins to David Michaelson et al., January 14, 2026, 5:56 PM, in CPRA Request No. 26-3807.

¹⁰ City of Los Angeles, email titled “Fwd: AltaMed’s Right-of-Entry Permit: 1st & Broadway Site, CD14,” January 6, 2026, in CPRA Request No. 26-3807.

¹¹ Los Angeles City Ethics Commission, “Lobbying and Major Filer Registrations,” 2024–2026 entries for AltaMed Health Services, Somos Group LLC, Somos Law Group LLP, and Gerald Gubatan, and “Lobbying Activity,” Q3–Q4 2025 entries for “First and Broadway Park - AltaMed Museum Project” (filtered reports, on file with the Downtown Los Angeles Residents Association), derived from “Clients of Registered Lobbying Firms,”

<https://data.lacity.org/Administration-Finance/Clients-of-Registered-Lobbying-Firms/9z5d-hgrh>, and “City Projects and Agencies Lobbied by Registered Lobbying Firms,” <https://data.lacity.org/Administration-Finance/City-Projects-and-Agencies-Lobbied-by-Registered-L/4xuf-944h>.

would ultimately be developed and made available for public park use.¹² That action itself triggered public outcry that should warrant a more careful community engagement process regarding future use. That same public record confirms the site was acquired as **dedicated park land** and indicates that the FAB Park project, as previously designed, could still be pursued if sufficient funding were restored or identified.¹³ The City should not now be permitted to convert that suspension into a *de facto* abandonment of the public park vision.

Nor should AltaMed’s proposal be accepted at face value as merely temporary. Public advocacy materials submitted in support of the AltaMed license and shared with the DTLA RA described the one-year “El Corazón Art Park” as the “foundation for a long-term partnership” that would pave the way for a permanent Museum of Chicano and Mexican Art on the site.¹⁴ Residents are entitled to ask whether the “temporary” framing is serving as a bridge to something more permanent before the public has had a fair opportunity to weigh in.

Downtown residents are also mindful of City records indicating that the Parcel is subject to park- or open-space-related restrictions. Internal City correspondence from late 2024 shared with the DTLA RA states that the grant deed required the property to be used for parks or open-space purposes for twenty-five years after close of escrow, and that the RAP Board dedicated the site as park property in March 2013.¹⁵ The DTLA RA is continuing to obtain and review the full record of relevant and publicly accessible property documents to better understand the contours of the City’s obligation to its residents with regard to this Parcel. The point is raised not to be adversarial, but because public land of this importance should be treated with appropriate legal and civic gravity.

The Downtown community is already mobilizing around this issue. Residents, homeowners, and neighborhood stakeholders have begun to express their concern not only with the substance of the proposal, but more importantly, with the way it has been advanced. One recent comment letter from Downtown property owners criticized the speed and opacity of the process, the vagueness of the plans presented, and the City’s apparent willingness to move forward with fencing off access to open space and the privatization of a highly valuable Parcel of public land without the kind of scrutiny such a proposal plainly warrants.¹⁶ That concern is broader than any one letter, and it continues to grow.

For these reasons, DTLARA respectfully requests the following:

- 1) First, that Council District 14, the Mayor’s Office, and RAP acknowledge that **no further substantive steps should be taken to advance the AltaMed proposal** unless and until a full public process has occurred. Given the rushed process, Neighborhood Council meetings have

¹² City of Los Angeles Department of Recreation and Parks, “Board Report No. 23-060: Suspension of 1st and Broadway Civic Center Park Project,” March 16, 2023, <https://recreation.parks.lacity.gov/sites/default/files/pdf/commissioner/2023/mar16/23-060.pdf>.

¹³ *Id.*, 5. The report states that “[t]he property was acquired in 2013 as dedicated park land for the development of a new park” and that “the suspension of the [p]roject would not preclude the City from pursuing the construction of [FAB Park] as previously designed should sufficient funding be secured.”

¹⁴ “Support for Licensing Agreement for *El Corazón Art Park Project*,” stakeholder sign-on letter to the Board of Recreation and Park Commissioners, February 4, 2026, in CPRA Request No. 26-3807 (stating that El Corazón Art Park would be “the foundation for a long-term partnership” and would “pave the way for the future construction and operation of a permanent Museum of Chicano and Mexican Art on the site”) (emphasis added).

¹⁵ City of Los Angeles, email chain titled “Fwd: Museum Proposal - 1st and Broadway,” December 30, 2024, in CPRA Request No. 26-3807.

¹⁶ Downtown Los Angeles property owners, “Public Comment re AltaMed Project-FAB Agreement Item BR 26-030,” April 15, 2026, on file with the Downtown Los Angeles Residents Association.

been insufficient to fully allow the public an opportunity to weigh in. Additionally, pressure applied by the City and AltaMed at the Neighborhood Council to remove its continuance on the project underscores the need for greater transparency and input outside of those public hearings.

- 2) Second, that the **City suspend further implementation of the AltaMed proposal**, including any further approvals or site work, pending that process.
- 3) Third, that **any proposal to repurpose, license, privatize, or otherwise materially alter the intended use of FAB Park be subjected to a process commensurate with the one used for FAB Park itself**—including robust outreach to Downtown residents and stakeholders, public presentations, disclosure of all relevant agreements and conceptual plans, and CEQA review appropriate to the actual scope, duration, and intended future of the proposal. This action is necessary to restore public trust and ensure that any long-term private use of public land is treated with commensurate due process, community engagement, and transparency.
- 4) Fourth, that unless and until a lawful, transparent, and fully vetted public process produces a different outcome, the **City reaffirm that FAB Park remains the intended civic use of this site and that the longstanding public commitment to open green space** at this location has not been extinguished by haste, opacity, or administrative drift.

Downtown Los Angeles deserves better than to learn after the fact that a long-promised civic park may be slipping away through a process that appears to privilege City Hall insiders over residents. Public land across from City Hall should be governed with unusual care, not unusual haste.

The DTLA RA remains ready to engage constructively and in good faith and to bring residents to the table to help shape a vision for this critical space. But constructive engagement requires an actual process in which the community can participate, not a last-minute effort to check a box after a foregone conclusion has been exposed.

We therefore urge you to pause this proposal, open this process, and treat this site with the seriousness its history, location, and public significance demand.

Respectfully submitted,

Leslie Ridings and Cassy Horton

DTLA RA Co-Founders

On behalf of the Downtown Los Angeles Residents Association Board of Directors

ATTACHMENT 5

CITY OF LOS ANGELES

DOWNTOWN LOS ANGELES NEIGHBORHOOD COUNCIL OFFICERS

JENS MIDTHUN
PRESIDENT

TERESA Y. HILLERY
VICE PRESIDENT OF ADMINISTRATION

DAMION WAGNER
VICE PRESIDENT OF
OUTREACH & COMMUNICATIONS

TERIN NGO
SECRETARY

TATHEER ADNAN
TREASURER

CALIFORNIA



WWW.DLANC.COM

EMAIL: INFO@DLANC.COM

April 14, 2026

RE: Board Report 26-030: AltaMed Museum of Chicano and Mexican Art / Design and Operation of the El Corazón Art Park Project (1st and Broadway Civic Center Park)

To Whom It May Concern:

At a public meeting on April 14, 2026, the Board of Directors of the Downtown Los Angeles Neighborhood Council ("DLANC") voted to provide the following comments below:

Due to a lack of information regarding the applicant's specific programming intentions and the lack of clarity regarding the provided scope of work, the Downtown Los Angeles Neighborhood Council is **unable to take a position** at this time. While DLANC supports organizations investing in the Downtown Los Angeles community, and supports the concept of activating the park site, we encourage our city partners to provide additional time for all parties to engage in meaningful dialogue before rendering a decision on this matter.

The 1st and Broadway site (FAB Park) holds immense civic importance for the City of Los Angeles. Following the 1976 earthquake-related demolition of the former 13-story State office building, the parcel remained vacant for over thirty-five years. Its acquisition in 2013, as authorized by [Board Report 13-072](#), was a cornerstone of the ["50 Parks Initiative."](#) intended to provide much-needed open space in a community that lacks sufficient recreational services.

The critical nature of this site is underscored by the [Los Angeles Park Needs Assessment](#) (PNA), which identifies Downtown Los Angeles (DTLA) as a high-need community where increasing density and population have intensified the demand for accessible green space. Specifically, the PNA recognizes the urgent need for facilities in the "Per Square Mile-Downtown" area. Given this high-need designation, ensuring the meaningful and appropriate stewardship of remaining park land is a matter of community equity. Every square foot of dedicated park space in DTLA must be protected against uses that do not align with the PNA's goal of providing accessible, publicly managed recreational facilities for all residents and visitors. This situation underscores the urgent need for comprehensive management of parkland, land use, and other City assets within the Civic Center, aligned with broader revitalization efforts in the greater DTLA area, including the

Civic Center Master Development Plan (CCMDP) and [DLANC's letter regarding the CCMDP](#) as a more expansive vision for open space and public assets in our community.

Regarding the development of the FAB park site, the community has historically experienced a profound lack of follow-through. Despite several attempts to develop the site over the decades, the 2013 acquisition promised a permanent civic resource that has yet to be fully realized. Crucially, the [Grant Deed recorded on June 5, 2013](#), explicitly mandates in Clause 1 that the Real Property shall be used for **parks or open-space purposes** for a period of not less than 25 years following the Close of Escrow. The deed includes a reverter clause specifying the property shall revert back to the Grantor should the use change to anything other than public recreation, enjoyment of scenic beauty, or conservation. Furthermore, the Certificate of Acceptance and [Board Report 13-072](#) designated that the site be set apart and dedicated as park property in perpetuity.

While DLANC is grateful for AltaMed's willingness to activate this site, the method in which this process has unfolded has created an appearance of intransparency. Although the AltaMed team has had clear intentions since August 2025, the lack of meaningful engagement with DTLA stakeholders suggests an effort to avoid public scrutiny. DLANC previously submitted a [request for continuance on February 2, 2026](#), due to significant concerns regarding transparency and the excessive speed at which this project was advancing without adequate public oversight. DLANC ultimately withdrew these continuance requests under the explicit assurance from City staff that broad and meaningful community outreach would be included in the advancing months. However, the current lack of transparency suggests these assurances have not been fully met.

Furthermore, while DLANC is supportive of temporary activations, the scope presented, including significant site alterations and "temporary" structures, far exceeds the standard definition of a temporary activation. We hold specific concerns regarding the "wellness center" scope, which lacks alignment with the core mission of park and open-space uses as defined in the Grant Deed. The current proposal lacks DTLA-based community programming and fails to address the specific needs of the communities immediately surrounding the site.

Therefore, DLANC requests that AltaMed, the Board of Recreation and Park Commissioners, and the Department of Recreation and Parks (RAP) consider the following modifications to the proposed project scope:

Community Outreach & Engagement

- **Coordinated Outreach:** AltaMed, in coordination with Council District 14 (CD14), RAP, and the Mayor's Office, shall coordinate a community engagement strategy.
- **Public Meetings:** This engagement must include a formal public community meeting to present project details to the broader constituency.
- **Stakeholder Inclusion:** Conduct targeted outreach to additional community-based stakeholders in the immediate adjacent area.

- **Neighborhood Council Coordination:** Facilitate a dedicated coordination and working session with the Neighborhood Council, with direct involvement from RAP and CD14, to address specific community concerns.

Site Design and Access

- **Site Accessibility:** Modify the design to provide direct park access from the 1st Street and Spring Street corner.
- **Regional Connectivity:** Ensure the site allows for seamless connections to Grand Park (Gloria Molina Park) and coordinate this approach with the Grand Park/Music Center and the County of Los Angeles.
- **Fencing Alternatives:** Avoid adding perimeter fencing; if fencing is required for security, utilize materials that ensure visual transparency and seek alternatives to chain-link fencing.
- **Park Hours:** Ensure site access seven days a week until at least 10:30 PM, in alignment with [LAMC 63.44](#) regarding park hours and public access.

Programming

- **Arts Collaboration:** Work with the Department of Cultural Affairs (DCA) to develop a visual and performing arts programming scope that fits the mission of an "Art Park".
- **Local Programming:** Partner with CD14, RAP, and the DCA to incorporate Downtown and area-based community organizations and arts groups into the site's programming.
- **Civic Access:** Extend "Civic-Based programming" to allow local community organizations to utilize the site for meetings and public assemblies, functioning as a community center.

Sincerely,



Jens Midthun
President,
DLANC



Heera Kapoor
Chair,
DLANC Livability Committee



Andrew Wong, AIA
Chair,
DLANC Planning & Land Use Committee

JM:HK:AW:RR

Cc: Council District 14 (via email)
Office of the Mayor (via email)
Department of Recreation and Parks (via email)
Board of Recreation and Parks Commissioners (via email)
Department of Cultural Affairs (via email)

ATTACHMENT 6

EXHIBIT A - ALTAMED MUSEUM LICENSE AGREEMENT PERMITTED USES

LICENSEE is permitted to use the PREMISES for the following activities:

- A. Provision of Sports Mental Health Services - Free mental health group sessions for the athletes and parents of RAP's sports programs, focusing on mental health issues related to participation in sports.
- B. Provision of Sports Mental Health Services - Free individualized sessions for youth athletes in RAP's sports programs focusing on mental health issues related to participation in sports.
- C. Provision of Nutrition Services - Instructional group sessions for participants in RAP's sports programs, focusing on nutrition education related to participation in sports.
- D. Provision of First Responder Mental Health Services - Mental health group sessions for RAP's First Responders, including but not limited to Park Rangers, Emergency Response Action Team, and staff assigned to Public Welfare and Sheltering operations, focusing on mental health issues arising from various First Response RAP park operations.
- E. Wellness Activities: Licensee shall offer free of charge programming, resources, and information related to health and wellness related to recreational activities such as screenings (heart, glucose, blood pressure, bone density). Licensee may also offer free of charge additional programming related to behavioral, oral, and women's health, and senior care related to recreational activities. Wellness workshops will be offered including yoga for all ages, healthy cooking and eating habits, healthy ways to manage stress, sound baths, and how to manage chronic conditions and receive proper emotional support. All such programming must focus on health and wellbeing in connection with recreational activities.
- F. Wellness Center (Exhibit B):
 - a. Licensee shall provide the public with a shaded area for public enjoyment. Any use of food vendors for special events shall require the prior approval of RAP which shall be given or denied in RAP's sole discretion, in accordance with the License Agreement.
 - b. Licensee shall provide a porch area with shade and protection from the elements when accessing an entry point to the space.
- G. Art and Cultural Activities:

Licensee shall offer arts and cultural performances, and outdoor sporting and cultural events and activities. All such events and activities must be approved by RAP, in its sole discretion, prior to activation of such event or activity. Any sponsor recognition, acknowledgements, or any other message, displayed electronically or otherwise on any portion of the PREMISES must comply with the City's applicable sign ordinance and must be approved by RAP prior to its display, such approval to be granted in RAP's sole discretion.
- H. Art Gallery (Exhibit B): Licensee shall use this area as follows:
 - a. First Floor - this space will be configured as an art gallery to be used by the Licensee for art exhibitions, as well as for related special events and educational programming. It will also be available for use by the City for art exhibitions and related special events and educational programming as provided in the License Agreement.
 - b. Second Floor - this space will be used by the Licensee for private and public events related to art, wellness and sports, as well as for meetings and

conferences related to use of the Premises, activities on the Premises, and recreational programming. It will also be available for use by the City for private and public events and related activities as provided in the License Agreement.

- c. Open Porch Area - this will be to provide shade and protection from the elements when accessing an entry point to the first or second floors.
 - d. Parking - Licensee shall use the space designated in Exhibit B for a maximum of 10 parking spaces designated for staff, security vehicles, and handicap parking related to the use of the Premises.
- I. Corazon Heart Art Sculpture (Exhibit B):
The Corazon Heart art sculpture consists of a 30 foot high x 35 foot wide heart (Corazon) structure that contains a 20 foot spherical LED screen. The screen would project content about art and culture, wellness, and sports that would be coordinated by the Licensee and which must be approved by RAP in accordance with the License Agreement. Any sponsor recognition must comply with the City's applicable sign ordinance which prohibits advertisements and must be approved by RAP. Hours of operation of the screen shall be limited to those times when the Premises is open to the general public or for ticketed or special events.
- J. Flexible Open Space (Exhibit B)
The area would serve as programming space for arts and cultural performances, for speakers, and to facilitate outdoor sporting and cultural events and activities as needed, coordinated by the Licensee, and which may be used by the Licensee or City as provided in the License Agreement. All such events and activities must be approved by RAP, in its sole discretion, prior to the activation of such event or activity. This area consists of a hard surface such as pavers or binded gravel surrounded by pathways of hardscaping for emergency and service vehicles. This space shall be intentionally left open in order to plan for a wide array of programming that will include large, cultural events and gatherings, outdoor festivities and performances. A temporary stage will be brought in as needed, as well as temporary seating. Any sponsor recognition, acknowledgements, or any other messages, displayed electronically or otherwise on any portion of the PREMISES, must comply with the City's applicable sign ordinance and must be approved by RAP prior to its display, such approval to be granted in RAP's sole discretion, in accordance with the License Agreement.
- K. Notwithstanding the minimum hours for general public use of the Premises as set forth in Section 3 of the License Agreement, Licensee shall ensure that the Premises remain open for general public use from 8:00 am to 9:00 pm each day from Tuesday through Sunday of each week and up to 10:00 pm on those days for ticketed and special events.

ATTACHMENT 6 - EXHIBIT B
[Updated] First and Broadway Civic Center Park Site Map

